

44 Capt. Bertie's Way
PROPERTY ADDRESS OF PROJECT



10-34
CASE NO.

TOWN OF PROVINCETOWN PLANNING BOARD

SPECIAL PERMIT

TO THE TOWN CLERK, PROVINCETOWN, MASSACHUSETTS: *(please print legibly)*

1. The undersigned hereby files with specific grounds for this Special Permit application:
Applicant seeks a **Special Permit** under:

- Article 2, Section 2440, Permitted Principal Use, Accessory Dwelling Units (under footnote 20 & 21 Use table)
- Article 2, Section 2440, Permitted Principal Uses, B13, Large Scale Ground-Mounted Solar;
- B14, Marijuana Establishment, Retailer
- Article 2, Section 2440, Permitted Principal Uses, D7, Medical Marijuana Treatment Center;
- Article 4, Section 4180, Inclusionary and Incentive Zoning Bylaw, Development of two or more dwelling units; or
- Article 7, Section 7080, Application Requirements, Wireless Telecommunications Towers & Facilities.

2. **PRIOR RELIEF GRANTED TO PROPERTY:** SPECIAL PERMIT VARIANCE UNKNOWN

3. **PLEASE ATTACH A NARRATIVE DESCRIBING YOUR PROJECT**

4. **Applicant/Representative** Anne Nagle an@verdant-medical.com
(full name) (email)
711 Atlantic Ave, C/O Verdant Medical, Boston, MA 02111 (405) 590-8929
(mailing address including zip code) (phone number)

5. **Owner (if other than applicant)** Steuermer, Klaus Peter
(full name) (email)
PO Box 10, Provincetown, MA 02657 (phone number)
(legal mailing address including zip code)

6. **Property located at:** 8-2 (email) Assessors Map & Parcel 28 Zoning District GC
 Present use of premises Auto Repair Proposed use of premises Marijuana Establishment, Retailer

7. **Deed Book & Page:** 11890, 84 **or Land Court Certificate #:** _____

Signing this application declares that the statements and information on the foregoing application are true and accurate, to the best of your knowledge and belief. Signing this application also signifies that you have read and fully understand the attached instructions and general information

Applicant's Signature

 Owner's Signature

May 11, 2018
 date
05/14/18
 date



Site Plan Review Checklist

Project Address: 44 Capt Berties Way

Date Submitted: _____ Pre-Application Approval Date: _____

To be considered complete a formal Site Plan Review application shall include the information listed below. The Planning Board may require additional information, if necessary to complete its review. The fee for Site Plan Review is \$250 for all applications except for a Wireless Telecommunications application, which is \$1500.

- A detailed project narrative describing the scope of work and construction sequencing
- Evidence by the applicant of his title or interest in the property. (deed, purchase and sales agreement, lease or similar instrument)
- Names and addresses of abutting property owners and abutters to abutters within three hundred feet (obtain from assessor's office)
- The Site Plan showing the following information:
 - Properly formatted Title Block including the name and address of applicant; name, address and stamp of Professional Land Surveyor that prepared the plan
 - North Arrow, date and scale bar (minimum scale 1"=40')
 - Easements
 - Ruled box for date, case number and Board member's signatures
 - Abutters names and building footprints
 - Lot size and zoning table
 - Boundaries of property plotted to scale
 - Proposed use(s) of property
 - Location and dimensions of all existing and proposed buildings
 - Lot line setbacks
 - Existing water courses, wetlands and environmental resource areas
 - FEMA Flood Plain Information
 - Location and design of parking and loading areas with calculations for required spaces based on zoning regulations
 - Proposed ingress and egress routes including location and dimensions of curb cuts
 - Location of all utilities
 - Location of wells and septic systems
 - Topography, with all existing and proposed grading
 - Existing trees of more 10 inches in diameter at breast height (dbh)
 - Paving
 - Refuse Storage and Disposal Facilities
 - Drainage infrastructure
 - Sidewalks
 - Retaining Walls
 - Handicap Access
 - Landscaping
 - Outdoor lighting
- Earth moving report certifying the amount of soil being moved, excavated or brought in
- Erosion control specifications
- Photographs of the property
- Existing and Proposed Elevations and Floor Plans, fully dimensioned and annotated



May 14, 2018

BY HAND

Planning Board
Town of Provincetown
260 Commercial Street
Provincetown, MA 02657

Re: Special Permit Application for Verdant Medical, Inc., 44 Captain Bertie's Way

Dear Town Manager Pangore:

Verdant Medical, Inc. ("Verdant") has appreciated the opportunity to engage with Town officials relative to our proposal to site a Retail Marijuana Establishment at 44 Captain Bertie's Way. We look forward to establishing a cooperative relationship with the Town of Provincetown as we work to site and operate a safe, compliant, and high-quality facility to serve clients throughout the region.

Enclosed, please find Verdant Medical, Inc.'s Application for Special Permit and Administrative Site Plan Review. Per application requirements, this packet includes two originals and seven copies of the following:

1. Project Narrative
2. Site Plans
3. Floor Plans
4. Pictures of Existing Conditions
5. Lighting Study
6. Traffic Impact Statement
7. Provisional Certificate of Registration
8. Stormwater Management Report

In addition, I have included two certified abutter's lists as well as the Purchase and Sale Agreement and evidence of lease to Verdant Medical. Verdant Medical looks forward to working with the Town of Provincetown going forward.

Very Truly Yours,

A handwritten signature in black ink that reads "Anne Nagle". The signature is fluid and cursive, with the first name "Anne" being more prominent than the last name "Nagle".

Anne Nagle
Chief Operating Officer, Executive Director

Verdant Medical, Inc. (“Verdant”) is seeking to operate a Marijuana Establishment – Retail (“RME”) at 44 Captain Bertie’s Way, Provincetown, MA, 02657 (“the Property”). The Property is located in the General Commercial (“GC”) zoning district. Pursuant to Article 2, Section 2400, B14, the use of the Property for a RME is permitted through the granting of a Special Permit. The applicant further submits the enclosed application for Administrative Site Plan review pursuant to the stipulations of Article 4, Section 4010.

On March 31, 2017, Verdant received a Provisional Certificate of Registration (“PCR”) to operate a Registered Marijuana Dispensary from the Massachusetts Department of Public Health in Randolph, Massachusetts. A copy of the PCR is attached hereto and incorporated herein for reference. Verdant intends to transfer the location of its existing PCR to the 44 Captain Bertie’s Way location. Additionally, Verdant will apply for an Adult Use Marijuana Retail Establishment license to be located at the Property in accordance with M.G.L. ch. 94G and 935 CMR 500.00 *et seq.*

44 Captain Bertie’s Way is presently utilized as an automotive repair facility. The Property is located on a 0.53 acre lot with an existing one-story service garage of approximately 2,232 square feet. The Property is not connected to the sewer and has no existing water infrastructure.

Verdant proposes to construct a new 3,826 SF two-story facility within the existing footprint of the building and install a private septic on site. Verdant’s proposed construction would allow for a 2,232 SF dispensing area on the first floor of the building and an additional 1,594 SF second floor for a vault and staff usage. The proposed alterations to the Property are shown on the Plans attached hereto and incorporated herein by reference (the “Plans”). Verdant only intends to utilize this Property for the sale of cannabis. Absolutely no cultivation, manufacturing, or processing will occur on site.

I. Project Narrative

Verdant has identified 44 Captain Bertie’s Way as an ideal location at which to establish its RME. The Property is located in an area designated by the Town for RME uses, allows for easy access for patients, customers, and employees, and is located at the edge of a commercial area with other business uses. The proposed facility is located conveniently to Route 6 and is within 1,500 feet of the high-season Provincetown Shuttle line.

Exterior Project Description

Verdant’s proposed modifications to the Property are designed to maximize site security, mitigate the impact of a commercial use on nearby residential properties, and protect the privacy of medical marijuana patients seeking to access the RME. All public access to the facility shall occur through the entryway and exit on the rear-facing side of the building that is adjacent to the parking lot. Customers arriving by foot or bike may cross the front-facing side of the property via sidewalk path to gain access to the rear of the facility. Bike racks are available for use on the side of the facility. Staff entry to the facility shall occur through a designated entryway at the street-facing side of the Property.

Following conversations with nearby residents and business owners about existing traffic impacts that result in significant unwanted traffic on George’s Path, Verdant will install wayfinding signage to prohibit vehicles utilizing the project driveway from taking a right-turn out of the parking lot, ensuring the smooth flow of traffic down Captain Bertie’s Way and on to Shank Painter Road without utilizing adjacent streets to turn around. Additionally, Verdant intends to make significant aesthetic improvements to the Property’s landscaping, eliminate illegal parking on the storefront grass, and reconstruct visually appealing fencing. The building façade facing Captain Bertie’s Way will be designed to be consistent with the surrounding neighborhood and will not draw unnecessary attention to the passerby.

Signage will be discrete and utilized for the purpose of wayfinding only. Pursuant to 935 CMR 500.105, Verdant will not install neon signage or illuminated exterior signage beyond the period of 30 minutes before sundown until closing; signs or other printed matter advertising marijuana products; display marijuana products that are visible to a

person from the exterior of the RME; or utilize a logo or symbols that has images of marijuana and/or colloquial references to cannabis.

The project as proposed provides for 10,633 SF of the 22,983 SF parcel, or 46 percent, as landscaped green space.

Interior Project Description

Verdant proposes to construct a new two-story building within the existing footprint of the building. As described above, the proposed plans necessitate the use of 3,826 SF. The first floor shall utilize 2,232 SF. The second floor shall be accessible to staff only and comprise 1,594 SF.

Patients and customers shall only have access to the first floor of the facility. The proposed dispensing area will include (1) a secure entry vestibule in which patients and customers must demonstrate proof that they have the appropriate credentials to gain access into the facility; (2) a secure reception and waiting area to prevent queuing outside of the building; (3) a private consultation room where patients in the Medical Use of Marijuana program can seek private advice about appropriate medicine and dosage; (4) a general dispensary sales floor with 13 point-of-sale terminals for the general public and two shielded point-of-sale terminals for patients enrolled in the Medical Use of Marijuana program; (5) an on-site security office; (6) an exit trap to allow for secure exits from the facility into the parking lot; (7) a secured employee-only exit and entrance; and (8) a janitor's closet.

The second floor of the facility shall only be accessible to staff. The second floor will comprise of (1) a secured vault; (2) a storage area; (3) restrooms; (4) two staff offices, (5) a mechanical room, and (6) a break room.

Security

Verdant prioritizes ensuring the safety and security of its patients, staff, neighbors, and the surrounding community. Verdant's security measures will exceed the requirements set forth in 105 CMR 725.000 *et seq.* and 935 CMR 500.00 *et seq.* Verdant has retained FTG Securities, one of the Commonwealth's leading security consultants, to develop our security policies, provide engineering and logistics support, and system testing.

Verdant intends to meet with the Provincetown Police Department to share confidential information about its security plans and operating procedures and to demonstrate full compliance with 935 CMR 500.110.

Verdant will employ live on-site security during all opening hours to ensure the safety of the perimeter and maintain access control to the facility. Verdant will also invest in state-of-the-art security infrastructure to prevent and detect potential loss and diversion of marijuana. This equipment will include perimeter alarms, failure notification systems, panic alarms connected to local law enforcement, and video cameras in all areas that contain marijuana as well as all points of entry and exit that are instantly accessible to local law enforcement. Redundant alarm systems will be installed to ensure that security features will remain operational in instances of power outages or system failure. Staff access within the dispensary will be monitored by a keycard program, with different levels of access granted to different staff members. Only essential staff will be granted access within limited access areas such as the vault.

Security personnel will be trained in the security industry and crime prevention standards and will have experience in the surveillance of high volume, high risk retail operations. All staff will receive comprehensive training relative to standard operating procedures in the unlikely case of a security incident. Verdant's operating policies and procedures ensure the prevention of diversion, theft, and illegal or unauthorized conduct.

Operations

Careers

Verdant anticipates hiring 25 year-round employees for full- and part-time positions. Employees will receive a salary, benefits, and substantial training. Verdant will seek to hire employees from the Provincetown community.

Trash Management

Pursuant to state regulation, any trash containing marijuana or marijuana products is required to be stored securely on site within the RME vault. The products will be transported back to the cultivation facility where it may be destructed safely.

Minimal amounts of business related waste will be generated from the facility. All waste will be secured within a dumpster on site that is fenced from the surrounding area to eliminate undesired access and removed via privately contracted waste management services.

Deliveries

Product deliveries will occur between two to three times each week in unmarked sprinter vans. Pursuant to 935 CMR 500.105, there will be no advertising, markings, or branding indicating that the vehicle is being used to transport marijuana. Routes and times used for the transportation of marijuana and marijuana products are randomized. Marijuana and marijuana products will be transported in secure, locked storage compartments that are a part of the vehicle transporting the marijuana products and cannot be easily removed. At least two agents will staff vehicles transporting marijuana. One agent will remain in the vehicle at all times, and the other will be accompanied by a dispensary staff member into the facility and within the vault. Within eight hours after arrival, Verdant will weigh, inventory, and account for, on video, all marijuana and marijuana products received.

An armored car service will pick up monetary instruments as needed each week.

Traffic and Parking

Verdant proposes a total parking footprint of 16 parking spaces onsite, one of which will be handicapped. Additionally, Verdant will install bike racks on site.

Please see the enclosed traffic study conducted by Hayes Engineering, Inc. Verdant respectfully submits that its proposed use of the Property will not disturb the existing right of way, pedestrian access, and will not cause a serious hazard to vehicle or pedestrian traffic. Traffic generated and patterns of access and egress will not cause congestion, hazard, or a substantial change to the neighborhood character. Verdant will discourage the use of single-occupancy vehicles by its employees through mitigation measures including:

- Subsidies for in-season shuttle use;
- Bike racks and lockers; and
- Participation in the “Guaranteed Ride Home” program

Verdant has taken great care to develop operational procedures to ensure that patient visits within the RME are short in duration and will not result in lines or other congestion to enter or exit the facility. Operational procedures will be adjusted as needed to ensure optimal function of the facility. When possible, consultations will be scheduled during off-peak hours.

II. Satisfaction of Review Criteria for a Special Permit set forth in Article 4, Section 4035 and/or Requests for Waivers

1. *That the plan is in accordance with the Provincetown Zoning By-Laws and is consistent with the goals of the Local Comprehensive Plan.*

The Property is located in the General Commercial ("GC") zoning district. Pursuant to Article 2, Section 2400, B14, the use of the Property for a RME is permitted through the granting of a Special Permit.

Provincetown's Local Comprehensive Plan calls for a "sustainable year-round economy with increasing employment opportunities for permanent residents." Verdant's proposal would revitalize an existing commercial property, provide year-round employment for 25 residents, contribute to the town fiscally through a Host Community Agreement and local option taxes, and contribute to the health and wellbeing of medical patients.

2. *That the plan meets the design requirements outlined in Section 4163.*

Verdant respectfully requests a waiver from this provision as the property is not zoned or utilized as a residential property.

3. *That the plan shall address the requirements of Section 5331.*

a. *Impact of the density and location of the project on water supply, water quality, or the provision thereof.*

Verdant shall submit an application to the Provincetown Water Department to tie in to the municipal water system. Verdant estimates that the project will not substantially impact water supply. The only water utilized will be in staff restrooms and a staff break room.

Verdant proposes to install an onsite septic system as documented in the attached Plans. The final design of the on-site septic system will be subject to approval by the Provincetown Board of Health.

b. *Impact of the individual and collective on-site septage system or systems on abutting property or any marsh, bog, pond, or other wetland or body of water by introducing therein excessive nutrients, dangerous chemical substances, or pathological organisms*

Verdant proposes to install an onsite septic system as documented in the attached Plans. Please see enclosed documents.

c. *Impact of drainage run-off in terms of possible damage to adjoining property and/or overload or silt up or contamination in any way of a marsh, bog, swamp, or other wetland or body of water.*

Please see the enclosed Stormwater Report.

d. *Impact of any proposed filling, cutting, or alteration of the topography or any devegetating operations on existing drainage patterns within or in the vicinity of the project.*

Please see the enclosed Stormwater Report.

e. *Impact on any adjacent, access, or other serving roads, whether public or private, including carrying capacity, maintenance, and safety both during and after construction.*

Verdant will provide a Construction Management Plan prior to issuance of a building permit that will outline the project schedule and/or access/traffic management provisions during construction phase activities to limit impacts on roadways during construction.

f. *Impact of the estimated additional new service requirements in time and/or cost that the proposed project may place on the Town sanitary disposal facilities for septage and solid waste disposal both during and after construction.*

Verdant proposes to install an onsite septic system as documented in the attached Plans. As such, no impacts are anticipated to the Town sanitary disposal facilities.

g. Impact of any additional burdens the proposed project may place upon the public safety services (such as fire and police), including the probable cost in terms of hours and facilities both during and after construction.

Verdant does not anticipate placing any additional burdens on public safety services during or after construction and respectfully requests a waiver from this provision. Furthermore, Verdant intends to engage in a Host Community Agreement with the Town of Provincetown that will include a community impact fee of up to three (3) percent of gross sales to offset any impacts that the operation of a RME may have on the host community.

h. Impact of additional burdens the proposed project may place upon Town administration, including Inspection Department, Assessor, Treasurer, etc.

Verdant does not anticipate placing any additional burdens on the Town administration during or after construction.

i. Impact of proposed project on solar access of neighboring buildings

The proposed project will not impact any solar access of neighboring buildings.

j. Impact of the proposed development in terms of any probable detrimental effect on the ecology of the area, such as disruption of the biological environment so as to endanger desirable species of trees and other vegetation or encourage proliferation of undesirable species or so as to upset an existing balance between animal and insect pests and their natural bird, animal, or insect predators, resulting in damage to either persons or useful or desirable forms of vegetation.

The existing project site is used as an automotive maintenance facility. There are few areas of vegetation or habitat on the site as it exists. Verdant is proposing a vigorous landscaping program that will use native and naturalized plantings that will ultimately enhance the ecology of the area.

4. Protection of public amenities and abutting properties through the mitigation of any detrimental impacts of the proposed use.

Verdant's Executive Management Team has spoken with several abutting and nearby residents and altered its project plans in an effort to mitigate the impacts of a new business presence. Following conversations with nearby residents and business owners about existing traffic impacts that result in much unneeded traffic on George's Path, Verdant will install wayfinding signage to prohibit vehicles utilizing the Property driveway from taking a right-turn out of the parking lot, ensuring the smooth flow of traffic down Captain Bertie's Way and on to Shank Painter Road without utilizing adjacent streets to turn around. Additionally, Verdant intends to make significant aesthetic improvements to the Property's landscaping, eliminate illegal parking on the storefront grass, and reconstruct visually appealing fencing. The building façade facing Captain Bertie's Way will be designed to be consistent with the surrounding neighborhood and will not draw unnecessary attention to the passerby.

5. Protection of unique, natural, scenic, or historic features of the site.

The Property and surrounding site do not have any unique, natural, scenic, or historic features that would warrant protection.

6. The safety and convenience of pedestrian and vehicular movement within the site and in relation to rights-of-way and properties in proximity to the site.

Please see the enclosed Traffic Impact Study conducted by Hayes Engineering and project narrative relative to traffic movement and patterns on the site.

7. *Protection of the public health and safety within and adjacent to flood hazard areas.*

The project is not located in a flood hazard area as noted on the accompanying Site Plans as sealed by a registered professional land surveyor and professional engineer in the Commonwealth of Massachusetts.

8. *That the plan shall conform to Illumination Standards of Section 3430 Illumination.*

Please see the enclosed outdoor lighting study which is in full compliance with the Illumination Standards set forth in Section 3430.

III. Satisfaction of Review Criteria for a Special Permit set forth in Article 4, Section 4053 Commercial Design Standards

1. Access and Traffic Impact

a. Access and egress must comply with Section 2474 in Zone GC.

Access and egress are in full compliance with Section 2474.

b. A Traffic Impact Assessment shall be prepared including a detailed assessment of the traffic safety impacts of the proposed project on the carrying capacity of any adjacent road, a plan to minimize any such impacts, adequate pedestrian and bicycle access including sidewalks to provide access to adjacent properties and between individual businesses within a development.

Please see the enclosed Traffic Impact Study conducted by Hayes Engineering.

2. Landscaping

a. In Zone GC: landscape buffer strip at least 10' wide continuous except for approved driveways shall be established adjacent to any public road to visually separate parking and other uses from the road and which shall be planted with medium height plant materials set back a sufficient distance at intersections to prevent any traffic visibility hazard.

Please see the enclosed landscaping plans in full compliance with this standard.

c. Large parking areas shall be subdivided with landscaped islands so that no paved surface shall extend more than 80' in width. At least one (minimum 2" caliper) trees per parking spaces shall be provided.

Please see the enclosed Plans in full compliance with this standard.

d. Exposed storage areas, machinery, service areas, truck loading areas, utility buildings and structures and other unsightly uses shall be screened from view from neighboring properties and streets using dense evergreen plantings, earthen berms, or tight fences with evergreen plantings.

Please see the enclosed landscaping plans which shield a dumpster in full compliance with this standard.

e. All landscaped areas shall be properly maintained. Shrubs and trees which die shall be replaced within one growing season.

Verdant anticipates hiring a landscaper to assist in the maintenance of all plantings and vegetation.

3. *Appearance / Architectural Design*

Please see the enclosed Plans which demonstrate that the design is compatible with the historic character and scale of buildings in the surrounding area.

4. *Erosion Control*

a. *Exposed or disturbed areas shall be permanently stabilized within six months of occupancy of a structure.*

Verdant will be in full compliance with this section.

b. *During construction, runoff shall be trapped on site.*

Please see the enclosed Stormwater Report.

5. *Infrastructure: The applicant must demonstrate that the proposed development will not overburden public water, septage, or solid waste facilities.*

Verdant shall submit an application to the Provincetown Water Department to tie in to the municipal water system. Verdant estimates that the project will not substantially impact water supply. Verdant proposes to install an onsite septic system as documented in the attached Plans.

Purchase and Sale Agreement

This Purchase and Sale Agreement ("Agreement") is made and entered into this ____ day of April, 2018 by and between by Klaus Peter Stuermer, having an address of Post Office Box 10, Provincetown, Massachusetts 02657 ("Seller"), and SH Realty Holdings, LLC, a Delaware limited liability company registered to do business in Massachusetts, having an address of 137 Lewis Wharf, Boston, MA, its successors, assigns or any nominee ("Buyer").

WHEREAS, Seller owns certain real property located at 44 Captain Berties Way, Provincetown, Massachusetts, as more particularly described in Exhibit A attached hereto and incorporated herein (the "Premises"). For Seller's title to the Premises, see the deed recorded at the Barnstable County Registry of Deeds at Book 11890, Page 84

WHEREAS, Seller desires to sell and Buyer desires to purchase the Premises, pursuant to the terms, provisions and conditions herein.

NOW, THEREFORE, in consideration of the Deposit placed in escrow and the mutual covenants and conditions set forth herein and other good and valuable consideration, and intending to be legally bound hereby, the parties hereby agree as follows:

1. PREMISES.

A. Seller agrees to sell and Buyer agrees to purchase the Premises and all rights appurtenant thereto; all improvements on and to the Premises; all sewer/septic and utility rights allocated to the Premises and the improvements; all right, title, and interest of Seller in and to any roads, streets and ways, public or private, serving the Premises; all rights, title and interest of Seller in and to any land lying in the bed of any street, road, avenue, lane or right of way in front of, adjoining or adjacent to the Premises; all rights and entitlements to development and use of the Premises granted by governmental or quasi governmental bodies or entities having jurisdiction or authority over the Premises, together with any and all easements and other rights which benefit the property. As used hereinafter, the term "Premises" shall include all of the foregoing.

2. PURCHASE PRICE AND DEPOSIT.

A. The Purchase Price for the Premises is One Million One Hundred Fifty Thousand and 00/100 (\$1,150,000.00) Dollars.

B. The Purchase Price shall be paid as follows:

- i. Deposit. The Buyer shall deliver a Deposit in the amount of Fifty Thousand and 00/100 (\$50,000.00) Dollars to Premier Commercial (the "Escrow Agent"), which shall be held by in escrow in a separate escrow account in accordance with the terms hereof and duly accounted for at the Closing (as hereinafter defined).
- ii. Payment at Closing. One Million One Hundred Thousand and 00/100 (\$1,100,000.00) shall be paid at the Closing by federal funds wire transfer to a bank account designated by Seller pursuant to written instructions delivered to Buyer at least 3 business days prior to the Closing.

C. Closing Costs. Buyer and Seller shall pay such taxes and fees as are customarily paid by such party in connection with real estate conveyances.

D. Hold Fee. In addition to the Deposit, Buyer has agreed to pay to Seller a monthly fee in the amount of \$3,000.00 ("Hold Fee") from the Effective Date of the Agreement to the date which is the earlier of the (i) Closing Date or (ii) the termination of this Agreement. The Hold Fee shall be pro-rated for any partial months within said period. The Hold Fee shall be paid to Seller by the 5th day of each month during said period and shall be non-refundable, except in the event of a Seller default hereunder. In consideration of the Hold Fee, Seller hereby agrees that it shall not market or show the Premises to any prospective buyers and shall not enter into or negotiate any agreement to sell, or lease the Premises during the term of this Agreement. The parties acknowledge that Pedi-Cab is a currently a tenant-at will at the Premises, but Buyer's obligations to close under the terms of this Agreement is subject to the Seller's obligation to deliver the Premises free of all tenants.

3. CLOSING.

A. Closing. Provided that the Buyer has not terminated the Agreement in accordance with the terms hereof, the transaction contemplated by this Agreement shall be consummated at a meeting of the parties (the "Closing") which shall take place at 2:00 p.m. at the Barnstable County Registry of Deeds, or, upon notice, at the office of Buyer's counsel on the date which is earlier of (i) thirty (30) days from the date Buyer provides written notice to Seller that it has obtained Final Approval of the Permits (as defined in Paragraph 5) and (ii) November 1, 2018, unless otherwise agreed upon in writing by the parties (the "Closing Date"). If the Closing Date falls on a date on which the Registry of Deeds does not accept documents for recording, then the Closing date shall automatically be extended to the next date on which the Registry of Deeds accepts documents for recording.

B. Possession of Premises; Condition of Premises. Full possession of the Premises, free of all tenants and occupants, is to be delivered at the time of the Closing. The Premises shall be then in the same condition as it now is, reasonable use and wear and damage by fire or other casualty and taking by eminent domain excepted, subject to the terms of Paragraph 9 hereof.

C. At Closing, Seller shall convey by Quitclaim Deed good, record and marketable title to the Premises in accordance with Paragraph 6 of this Agreement.

4. DUE DILIGENCE PERIOD.

A. Subject to the conditions herein, Buyer and its agents, consultants and contractors shall be afforded an opportunity to inspect and evaluate the Premises and conduct such physical, financial, legal, title, survey, environmental, operating and managerial due diligence review, tests, inspections and analysis of the Premises and the title thereto, all as deemed appropriate by Buyer in the Buyer's sole discretion (the "Due Diligence"). From and after the Effective Date (as defined below), Buyer, its agents, consultants, contractors or other representatives shall have the right to access to the Premises during reasonable business hours and upon reasonable prior notice to Seller, but in no event less than forty-eight (48) hours, in order to perform inspections and tests on the Premises, including, without limitation, the performing of tests, borings, surveys, soil studies, environmental sampling, and other studies, tests and inspections.

B. The Effective Date of this Agreement (the "Effective Date") shall be the date on which it is executed by both Seller and Buyer, or if not executed simultaneously, the date on which it is last executed by Seller or Buyer, which date shall be inserted at the top of the first page hereof. The Due Diligence Period shall commence on the Effective Date and expire on the date which is sixty (60) days after the Effective Date of this Agreement. This Agreement, and the purchase and sale contemplated herein, are specifically contingent upon Buyer, in its sole discretion, being satisfied with the results of the Due Diligence review and analysis on or before the end of the Due Diligence Period. If the Due Diligence Period is extended in accordance with subparagraph E below, the any reference herein to the Due Diligence Period shall mean the Due Diligence Period as so extended.

C. Buyer may elect, at its sole discretion, at any time before the expiration of the Due Diligence Period, to terminate this Agreement for any reason by providing written notice of its election to Seller in accordance with the notice provisions set forth herein. Upon termination of this Agreement by the Buyer as herein authorized, the Deposit shall be returned to Buyer and the parties hereto shall be released of and from all further obligations or liabilities hereunder except for the obligations, which expressly survive the termination of this Agreement. In the event that the Buyer does not terminate this Agreement prior to the expiration of the Due Diligence Period, then Buyer shall be deemed to be satisfied with its Due Diligence and have waived any right afforded to Buyer to terminate this Agreement under this Paragraph 4, provided, however, Buyer shall not be deemed to have waived the Permit Contingencies set forth in Paragraph 5 below or the title provisions in Paragraph 6 below.

D. Buyer shall, immediately after any entry upon the Premises, restore the Premises, at Buyer's sole risk, cost and expense, to the condition, which existed immediately prior thereto. Buyer assumes all risks associated with Buyer's and Buyer's agents and/or representatives' entry on the Premises and agrees to protect, defend (with counsel reasonably satisfactory to Seller), indemnify and hold harmless Seller and Seller's members, managers, partners, parent, attorneys, agents, employees, contractors and representatives from and against any and all costs, losses, claims, damages, liabilities, expenses and other obligations (including, without limitation, reasonable attorneys' fees) on account of any loss, damage or injury to any person or property (including without limitation the Premises) by reason of any act, omission or negligence of Buyer or any of Buyer's agents or representatives caused by the entry or activities of Buyer or Buyer's agents or representatives on, at or with respect to the Premises.

E. Notwithstanding anything to the contrary contained herein, if Buyer determines that certain subsurface testing (e.g. Phase II investigation) is required as a result of its initial Due Diligence of the environmental conditions at the Premises, then Buyer shall have the option to extend the Due Diligence period for an additional thirty (30) days by providing written notice to Seller prior to the expiration of the Due Diligence Period for the purposes of completing such testing.

5. PERMIT CONTINGENCY.

A. The parties hereby acknowledge that Buyer plans to lease the Premises to an affiliate of Buyer or an entity managed by an affiliate of Buyer (hereinafter collectively referred to as "Buyer's Affiliate"). Buyer or Buyer's Affiliate, at its sole cost and expense, shall seek to obtain Final Approval (defined below) for any and all State and local, permits, approvals and licenses deemed necessary by the Buyer or the Buyer's Affiliate for the use of the Premises as a Registered Marijuana Dispensary for medical and/or recreational marijuana (the "Permits"), which shall include, without limitation, all permits and approvals required for the installation of a new septic system to serve the Premises. As used

in this Agreement the term "Final Approval" shall mean that all Permits necessary for use of the Premises as a Registered Marijuana Dispensary have been issued with all appeal periods having expired with no appeal taken or all appeals resolved in favor of the issuance of the requested permit containing conditions acceptable to the Buyer or Buyer's Affiliate.

B. In addition to and separate and apart from the Due Diligence provisions set forth above and the Title provisions in Paragraph 6 below, the obligation of Buyer to complete the transaction contemplated hereunder shall be contingent upon the following occurring no later than October 7, 2018 ("Permit Contingency Deadline"): (a) receipt by Buyer or Buyer's affiliate of all Permits necessary to operate a Registered Marijuana Dispensary on the Premises including, without limitation, the issuance of the required licenses to Buyer or Buyer's Affiliate to operate as a medical and/or recreational Registered Marijuana Dispensary by the Department of Public Health. The contingencies set forth in this Paragraph 5 are collectively referred to herein as the "Permit Contingency". Seller agrees to reasonably cooperate with Buyer or Buyer's Affiliate in connection with their attempts to obtain the Permits, provided same is without undue burden or expense to Seller. Such cooperation shall include, without limitation, executing any and all applications for said Permits, which require to the property owner's signature.

C. If Buyer or Buyer's Affiliate is unable to satisfy the Permit Contingency or reasonably determines it will be unable to satisfy the Permit Contingency on or before the Permit Contingency Deadline, Buyer may elect, at any time before the expiration of the Permit Contingency Deadline, to terminate this Agreement by providing written notice of its election to Seller in accordance with the notice provisions set forth herein. Upon termination of this Agreement by the Buyer as herein authorized, the Deposit shall be returned to Buyer, and the parties hereto shall be released of and from all further obligations or liabilities hereunder except for the obligations which expressly survive the termination of this Agreement.

6. TITLE.

A. Title to the Premises and all easements required to service the Premises shall be both marketable and insurable at regular rates by a title company acceptable to Buyer and licensed to do business in the Commonwealth of Massachusetts and shall be subject only to the following:

- i. The lien, if any, for real estate taxes not yet due and payable;
- ii. The Permitted Encumbrances (as defined below); and
- iii. Provisions of building and zoning laws.

B. After the execution of this Agreement, Seller shall not further encumber the Premises with any offers to purchase, or listing agreements or other voluntary encumbrances, except for a new mortgage lien in favor of an institutional lending institution, securing debt in the aggregate of not more than \$1,000,000.00, and which provides by its respective terms that the mortgage lien shall be released and satisfied at any time and without penalty upon the sale of the Property to Buyer and the payment of not more than the net proceeds of such sale. Upon execution of this Agreement, Seller shall immediately deliver to Buyer copies of any title abstracts, insurance policies, and commitments for title insurance, data or surveys, if any, previously obtained by Seller for the Premises. Seller shall execute and deliver at Closing the normal and customary closing documents, including, but not limited to: standard form title insurance affidavit with respect to mechanics liens and parties in possession, a Non-Foreign Person Affidavit in form mutually satisfactory to Buyer's Counsel and as contemplated by 26 U.S.C. section 1445.

C. On or before the expiration of the Due Diligence Period, Buyer shall deliver to Seller a written list of Buyer's objections to Seller's title and/or survey (current as of the date of the Buyer's Title Report ("Buyer's Title Report")) with respect to which the Buyer's Title Objection is based, which shall not include monetary encumbrances which the Seller is obligated to remove at Closing). Such objections may include encumbrances that, in Buyer's reasonable opinion, may affect the marketability of the title ("Buyer's Title Notice"). Seller shall, within five (5) days of receipt, inform the Buyer which items on the Buyer's Title Notice will be cured by or at the Closing and which items will remain an encumbrance ("Proposed Permitted Encumbrances") after Closing ("Seller's Response to Buyer's Title Notice"). If Buyer objects to any of the Proposed Permitted Encumbrances, it may, by notice to Seller within fifteen (15) days of its receipt of Seller's Response to Buyer's Title Notice, terminate this Agreement, failing which the Seller's Proposed Permitted Encumbrances shall become Permitted Encumbrances for all purposes hereof. If Buyer exercises its right to terminate, then the Deposit shall be returned to Buyer and the parties shall have no further recourse against each other.

D. Seller shall use its reasonable efforts to resolve any such objections to title and survey other than Permitted Encumbrances and to deliver possession as required herein. If, at the time set for the Closing, Seller cannot deliver good, clear record and marketable title as contemplated herein after exerting such efforts, Buyer may either (i) terminate this agreement and receive the return of its Deposit; (ii) accept such title as Seller is able to convey without deduction or adjustment to the Purchase Price; or (iii) extend the Closing Date for a period of 30 days to allow Seller to cure such defect and be able to convey title in accordance with this Agreement. Seller shall not be obligated to expend more than \$10,000 (exclusive of payoffs of voluntary liens and mortgages, which shall be paid by Seller) to comply with the terms of this subparagraph D.

E. In the event that any monetary lien can be removed by the payment of money, the Seller shall remove said lien by making the required payment or escrowing the required money and obtaining a court order, or agreement releasing such lien upon the payment of a sum of money into escrow at closing.

F. The Premises shall be free and clear of all tenants, equipment and machines at Closing. Notwithstanding the foregoing, the Buyer acknowledges that the in-ground lift currently located at the Premises is a fixture, which will not be removed prior to Closing and shall be conveyed with the Premises.

G. To enable the Seller to make conveyance as herein provided, the Seller may, at the time of delivery of the deed, use the purchase money or any portion thereof to clear the title of any or all encumbrances or interest, provided that all instruments so procured are recorded simultaneously with the delivery of said deed, or promptly thereafter in a manner consistent with the conveyancing practices of Massachusetts or acceptable to Buyer's Title Insurer.

7. SURVEY, TOPOGRAPHICAL STUDIES AND ENGINEERING.

Seller shall make available to Buyer within three (3) business days after upon execution of this Agreement, to the extent it has not already done so, any survey (including ALTA surveys) and topographical information, soils conditions and engineering data, plans, wetland studies, environmental reports, permits, approvals, geotechnical reports, hydrological reports/studies, deep hole test results, perc/soils test results, notice of filing of mechanics' liens and the like, that are in the possession of Seller that pertain to the Premises. In addition, thereafter Seller shall deliver to Buyer copies of any such

material it receives after the execution of this Agreement, within five (5) days after Seller's receipt thereof.

8. ENVIRONMENTAL CONDITION OF PREMISES.

Seller hereby represents and warrants the following:

A. During Seller's ownership of the Premises, and to the best of Seller's knowledge during any previous ownership of the Premises, Seller is not aware of the presence of any Hazardous Waste at, upon, under or within the Premises, except for an oil spill in 1996 caused by previous owner identified as DEP – RTN 4-0012538 (referred to herein as, the "Previous Owner Spill"), or, to the best of Seller's knowledge, any contiguous real estate, or directly or indirectly into any waterway flowing upon, under or near any of said lands and there has been no discharge, spillage, controlled loss, seepage or filtration (a "Spill") of Hazardous Waste at, upon, under or within the Premises or, to the best of Seller's knowledge, any contiguous real estate, or directly or indirectly into any waterway flowing upon, under or near any of said lands. To the best of Seller's knowledge, the Previous Owner Spill was remediated in accordance with all applicable laws and Class A2 Response Action Outcome was filed with DEP on February 13, 1997 (see DEP's website). Seller shall provide Buyer with copies of all the documentation it has in its possession relating to the Previous Owner Spill or the presence of Hazardous Waste on the Premises, if any.

B. Seller has not caused or to its knowledge permitted to occur, and shall not permit to exist, any conditions on the Premises which may cause a Spill at, upon, under or within the Premises or on any contiguous real estate;

C. To the best of Seller's knowledge, there are no underground storage tanks on the Premises, and, to the best of Seller's knowledge, there were no underground storage tanks on the Premises prior to Seller's ownership of the Premises.

D. For the purposes hereof, the term "Hazardous Waste" shall mean any chemical substances, toxic material, oil or petroleum, pollutant, or other substances, wastes or materials (whether solid, liquid or gaseous in nature) defined, determined, or otherwise regulated as hazardous, toxic, unsafe or harmful to human health, safety or the environment under any federal, state or local laws, rules, regulations, directives, orders, decrees, judgments, and the like relating to pollution or protection of human health, safety or the environment, including, without limitation, any oil or hazardous material as defined by the Massachusetts Oil and Hazardous Material Release Prevention and Response Act of 1993, Massachusetts General Laws, Chapter 21E, as amended, or the regulations promulgated thereunder.

E. The foregoing representations are a material part of this Agreement and Buyer is specifically relying upon these representations. The representations set forth above shall survive the delivery of the deed.

F. Seller does hereby agree to indemnify, defend and hold Buyer harmless from any and all claims, costs, expenses (including reasonable attorneys' fees), damages, actions, causes of action and liabilities, now existing or hereafter arising from or relating to the Previous Owner Spill (including, without limitation, any contamination of the groundwater located on or under the Premises caused by the Previous Owner Spill). Seller's obligations hereunder shall survive the delivery of the deed.

9. CASUALTY/EMINENT DOMAIN.

A. Casualty. In the event that any of the improvements included in the Premises shall be damaged by fire or other casualty before the time of Closing, and the cost of restoring such improvements, in the Buyer's reasonable judgment, will exceed \$50,000.00, this Agreement shall, at the Buyer's option, either terminate or continue in full force and effect. In the event that this Agreement is not terminated, it shall remain in full force and effect, and Seller shall, unless it has previously restored the damaged improvements to their former condition, either (a) pay over or assign to Buyer, at the Closing, all insurance proceeds recovered or recoverable on account of such fire or other casualty, less any amounts reasonably expended by Seller for any restoration of such improvements or collection of such insurance proceeds, or (b) if a holder of a mortgage on the damaged improvements shall not permit the insurance proceeds or a part thereof to be used to restore said improvements to their former condition or to be so paid over or assigned, give to Buyer a credit against the Purchase Price equal to the amounts so recovered or recoverable and retained by the holder of such mortgage, less any amounts reasonably expended by Seller for any such restoration or collection. In the event that Buyer shall terminate this Agreement, the Deposit shall be refunded to Buyer and all other obligations of the parties hereto (unless otherwise provided herein) shall cease, and this Agreement shall be void and without further recourse to the parties hereto.

B. Condemnation. In the event of a taking by eminent domain or a transfer under threat or in lieu of eminent domain (hereinafter called a "Taking"), which, in Buyer's reasonable judgment, is substantial enough to make the remaining portion of the Premises unsuitable for Buyer's purposes, this Agreement shall, at Buyer's option, either terminate or continue in full force and effect, and, in the latter event, Seller shall either (a) pay over or assign to Buyer, at the Closing, all awards recovered or recoverable on account of such a Taking, less any amounts reasonably expended by Seller for any restoration of the Premises or collection of such awards, or (b) if a holder of a mortgage on the Premises affected by such Taking shall not permit the awards for such Taking to be so paid over or assigned, give to Buyer a credit against the Purchase Price equal to the amounts so recovered or recoverable and retained by the holder of such mortgage, less any amounts reasonably expended by Seller for any such restoration or collection. In the event that Buyer shall terminate this Agreement, the Deposit and all interest accrued thereon shall be refunded to Buyer and all other obligations of the parties hereto (unless otherwise provided herein) shall cease, and this Agreement shall be void and without further recourse to the parties hereto. If, prior to the Closing, any of the land area of the Premises shall be taken by eminent domain, whether such taking is by a governmental entity, or any utility authority or company, at the Buyer's option, (a) this Agreement shall be null and void and all Deposits shall be returned to the Buyer; or (b) alternatively, Buyer may proceed to closing as provided hereunder and pay the Purchase Price, on a pro-rata basis for the un-affected Lots, in which latter event, all awards from any such taking received prior to closing shall become property of the Seller, less any reasonable, actual cost and expense incurred by Buyer in connection with such eminent domain proceedings. Eminent domain shall include a transfer to government entities or utility authorities resulting from negotiations under threat of taking. It is specifically understood and agreed that, in the event any condemnation action is instituted against the Premises during the term of this Agreement, Seller will immediately notify Buyer of said action and keep Buyer fully advised as to the status of the proceedings.

10. DEFAULT - LIQUIDATED DAMAGES.

A. Default by Buyer. In the event that the Buyer does not terminate this Agreement pursuant to Paragraphs 4, 5 or 6, and in the event that the Buyer is in default and such default continues for a

period of 30 days after written notice from the Seller, Seller may terminate this Agreement; and the Deposits paid by Buyer hereunder shall be retained by the Seller as liquidated damages which shall be the Seller's sole remedy in law or in equity.

B. Default by Seller. In the event the Seller fails to perform or breaches any of its representations, warranties, covenants or terms under this Agreement and the continuance thereof for a period of thirty (30) days following written notice from Buyer, Buyer shall have the following option, (a) terminate this Agreement, and receive a return of the Deposit and any other amounts paid hereunder in which case each party shall be released from all duties and obligations contained herein, (b) bring an action for specific performance for the enforcement of this Agreement, including injunctive relief, and to bring suit to recover all costs of suit and reasonable fees of attorneys and other consultants incurred in connection with such action, or (c) bring suit for all damages suffered by reason of such failure, plus all of Buyer's cost and expenses, including reasonable attorneys' fees.

11. ADDITIONAL COVENANT AND REPRESENTATIONS OF SELLER.

In addition to all other covenants of the Seller, Seller hereby covenants and agrees as follows:

A. The Seller represents and warrants to the Buyer: (a) that all documents executed or to be executed by Seller which are to be delivered to Buyer at or before the Closing will be duly authorized, executed, and delivered by Seller, and will be legal, valid, and binding obligations of Seller; and (b) that the representations and warranties set forth on herein to the best of the Seller's knowledge are true as of this date and will be true as of the Closing Date to the best of Seller's knowledge. In addition, the Seller acknowledges that Buyer is relying upon each of the representations and warranties as a material inducement in Buyer's purchase of the Premises and the transactions contemplated hereunder and that none of its shareholders, directors and officers, as the case may be, have any knowledge which is contrary to the representations and warranties. The Buyer acknowledges that the Buyer has not been influenced to enter into this transaction nor has the Buyer relied upon any warranties or representations, except for the representations and warranties set forth in this Agreement. The representation set forth herein shall survive the delivery of the deed.

B. Seller shall not, without the prior written approval of Buyer, (a) make or permit to be made any material changes or alterations to any part of the Premises; (b) enter into any agreement affecting any part of the Premises; (c) permit any voluntary liens, mortgages (except for a new mortgage on the terms set forth in Paragraph 6B above), deeds of trust or other encumbrances not currently of record to be placed against, or to affect any part of the Premises or title to the Premises; (d) commit any default under or take or fail to take any action that with the giving of notice and the passage of time, or either, would constitute a default under any existing mortgage lien on the Property. Seller hereby represents that as of the Effective Date there no mortgages affecting the Premises.

C. Seller makes the following warranties and representations as of the date hereof and as of the Closing Date which warranties and representations are made to its actual knowledge without any current, independent review, testing or inspection or any duty or obligation to review, test or investigate:

- i. There are no contracts, agreements, or licenses, written or oral, affecting the ownership or operation of the Premises that will survive the Closing Date unless Buyer agrees in

writing subsequent to the date hereof for the continuation of any certain lease agreement beyond the Closing Date;

- ii. There are no current leases or other agreements, written or oral, with any parties granting them a leasehold right, tenancy, right of occupancy, or any similar rights or interests in and to any portion of the Premises except tenancy at will of Pedi-Cab (Seller hereby acknowledges that Buyer's obligations to close under the terms of this Agreement is subject to the Seller's obligation to deliver the Premises free of all tenants);
- iii. No work has been done on the Premises or any portion thereof at the direction of Seller, which could give rise to any liens in favor of persons furnishing labor, equipment, materials, or material men's liens under applicable law;
- iv. Seller has not received any notice claiming or asserting that the Premises are in violation of any law, ordinance, rule, regulation, or requirement including without limitation, those pertaining to zoning, building, health, safety, or environmental matters, of the municipal, county, state, or federal government having jurisdiction over the Premises that have not been remedied and to Seller's actual knowledge, there are no such violations;
- v. To Seller's actual knowledge, there is no threatened or pending litigation or claim involving the Premises or any adjoining property that would have a material adverse effect on the value of the Premises and, to the Seller's actual knowledge, there are no facts or circumstances which could give rise to such claim and litigation;
- vi. Seller has received no notice of taking, condemnation, betterment, or assessment, actual or proposed, with respect to the Premises, none has occurred, and Seller has no reason to believe that any such taking, condemnation, betterment or assessment has been proposed or is under consideration;
- vii. There are no outstanding options to purchases or rights of first refusal with respect to the Premises as a whole;
- viii. Seller has not commenced nor has Seller received notice of the commencement of any proceeding that would affect the present zoning classification of the Premises. Seller will not initiate any such proceeding and will promptly notify Buyer if Seller receives notice of any court or governmental authority having jurisdiction over the Premises;
- ix. There is, to Seller's actual knowledge and belief, no notice, suit, order, decree, claim, writ, injunction, or judgment relating to material violations of any laws, ordinances, codes, regulations, or other requirements with respect to the Premises or any portion thereof in, of or by a court or governmental authority having jurisdiction over the Premises.
- x. Seller represents the premises are not served by the municipal sewer or a private septic system . Water to the premises drains into a dry well. Any sewer connection or septic system required by the Buyer's intended use of the premises shall be Buyer's responsibility, at Buyer's sole cost and expense.

12. BUYER'S REPRESENTATIONS.

All documents executed or to be executed by Buyer which are to be delivered to Seller at or before the Closing will be duly authorized, executed, and delivered by Buyer, and will be legal, valid, and binding obligations of Buyer. The individual executing this Agreement on Buyer's behalf is authorized to bind Buyer to all terms of this Agreement by its signature hereto.

13. REAL ESTATE TAXES / INSURANCE/ADJUSTMENTS.

Until the Closing Date, Seller shall pay all real estate taxes due on the Premises and shall continue to maintain the insurance it currently carries on the Premises. Seller shall bear all risk of loss on the Premises until the Closing. Taxes for the then fiscal year and municipal water charges shall be adjusted as of the date of performance of this Agreement.

14. BROKERS.

Buyer and Seller each represents and warrants to the other party that it has dealt with no broker or finder in connection with this transaction other than Novus Group and GJSW INC, dba Premier Commercial. Buyer and Seller each agrees to indemnify the other party and to hold such party harmless from and against all loss, damage, costs and expenses (including, without limitation, attorneys' fees and costs) arising from a breach of the aforesaid representation and warranty. Seller shall be solely responsible for paying a real estate brokerage commission to Novus Group and and GJSW INC, dba Premier Commercial in connection with this transaction. Amount of commission to be paid by Seller if, as and when the deed is delivered and full purchase price paid therefor: \$69,000.00 (6% of purchase price)-split 50/50 between the Brokers. The representations, warranties and obligations under this Section shall survive the Closing, or, if the Closing does not occur, the termination of this Agreement.

15. NOTICE.

All notices required under this Agreement shall be served personally, or sent by fax or email, or by mail by recognized overnight carrier service to the parties as follows:

TO BUYER:

Foley Hoag, LLP
155 Seaport Boulevard.
Boston, MA 02210
ATTN: Kevin Conroy, Esq.
617-832-1000
kconroy@foleyhoag.com

TO SELLER:

Harriet J. Hobbs, Esq.
Post Office Box 2021
54 Ryder Beach Road
Truro, MA 02666
Fax: 508.487.6000
Email: harriet@hjhllaw.com

Notice by email shall be deemed given if either (i) the noticed recipient issues a confirming response or (ii) The noticed recipient's computer issues a "read receipt". Notice by overnight mail shall be deemed given upon receipt as confirmed by the overnight carrier's tracking report. Either party may designate a

different person or entity or place at which notices shall be given by sending a written notice to that effect to the other party in the matter provided herein.

16. SUCCESSORS AND ASSIGNS.

This Agreement shall be binding upon the parties and their respective heirs, executors, administrators, fiduciaries, legal representatives, successors, nominees and assigns

17. EXECUTION OF DOCUMENTS

The parties shall execute such other documents as may be reasonably necessary to implement and effectuate the terms and conditions of this Agreement.

18. CONSTRUCTION OF AGREEMENT.

This Agreement is to be construed as a contract made in the Commonwealth of Massachusetts, is to take effect as a sealed instrument, sets forth the entire contract between parties, is binding upon and inures to the benefit of the parties hereto and their respective heirs, devisees, executors, administrators, successors and permitted assigns, and may be canceled, modified or amended only by a written instrument executed by both Seller and Buyer (but this Agreement may not be assigned by the Buyer except as expressly permitted hereunder). If two or more persons are named herein as Buyer their obligations hereunder shall be joint and several. The captions are used only as a matter of convenience and are not to be considered part of this Agreement or to be used in determining the intent of the parties to it. This Agreement constitutes in its entirety the terms of the agreement between the Buyer and the Seller, any oral discussions or agreements not set forth in this agreement are not binding on either party. Any written memorandum, letters or email between the Buyer and Seller containing terms, discussions, or agreements not set forth in this agreement are not binding on either party.

19. LIABILITY OF SHAREHOLDERS AND OFFICERS.

Only the Seller and Buyer shall be bound by this Agreement and no shareholder, director, employee, agent or officer of Seller or Buyer shall be personally liable for any obligation, express or implied, hereunder.

IN WITNESS WHEREOF, the parties hereto have hereunto fixed their hands and seals on the date first above written.

Seller

Buyer

<hr/> <p>Name: Klaus Peter Stuermer</p>	<p>SH Realty Holdings, LLC</p>  <hr/> <p>Name: Robert P. Leidy Authorized Signatory</p>
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IN WITNESS WHEREOF, the parties hereto have hereunto fixed their hands and seals on the date first above written.

Seller

Buyer

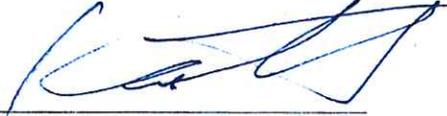
 Name: Klaus Peter Stuermer	SH Realty Holdings, LLC Name: Authorized Signatory
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Exhibit A

That certain parcel of land with the improvements thereon located in Provincetown, MA and described as follows:

Lot 6A on a plan entitled: "Plan of Land in Provincetown, Mass. Prepared for Provincetown Golf Range Inc. & Klaus Peter Stuermer Scale 1"=30' November 11, 1998 Felco, Inc. Engineering/Land Surveying P.O. Box 1366, Orleans MA 02653" which plan is recorded at the Barnstable Registry of Deeds in Plan Book 545, Page 79.

Being the same premises conveyed to Seller by deed, dated December 4, 1998, and recorded in Book 11890, Page 84.



137 Lewis Wharf
Boston, MA 02110

May 14, 2018

SH Realty Holdings, LLC
137 Lewis Wharf
Boston, MA 02110

Re: Letter of Intent to Lease 44 Captain Bertie's Way, Provincetown, MA 02657 (the "Property")

Dear Mr. Leidy:

We are pleased to submit the following Letter of Intent on behalf of Verdant Medical, Inc. to enter into a lease at 44 Captain Bertie's Way, Provincetown, MA 02657 (the "Lease") to the owners of record of the aforementioned property.

Purpose: This Letter of Intent is intended to provide evidence of a binding interest in real estate sufficient to support an application by Verdant Medical, Inc to Massachusetts authority for use of the site as a registered marijuana dispensary upon the terms and conditions outlined in this Letter of Intent.

Lessor: SH Realty Holdings, LLC

Lessee: Verdant Medical, Inc.

Premises: The lot, building, and other improvements to be located 44 Captain Bertie's Way, Provincetown, MA 02657, as shall be more particularly described in the Lease.

Use: The Premises shall be used as a as a Registered Marijuana Dispensary ("RMD") for medical and recreational use as permitted by the Massachusetts Department of Public Health and Massachusetts Cannabis Control Commission ("Permitted Uses"), provided Lessee has obtained all required state and local permit and approvals necessary in connection with such use ("Approval and Permits"). Lessee shall obtain all Approvals and Permits necessary to use the Premises for such use, and shall, upon request of Lessor, provide Lessor with copies of the same. Lessee shall use the Premises for no other purpose without Lessor's prior written consent.

Term: Twenty (20) years from Lease Commencement Date (defined below) with one (1) ten (10) year extension option.

Base Rent: \$55/RSF with 3% annual increase on the Base Rent. Base Rent during the extension option shall be determined based on the fair market rental value for comparable property at the time Lessee exercises its option to extend. The Lease shall set forth the procedure for determining the fair market rental value.

B4834573.2



Termination Right: During the Option Period and any extension thereof, Lessee shall have the right to terminate the Option for any reason by notifying Lessor, in writing, with 10 days' notice.

If Lessee is unable to obtain appropriate Approvals and Permits, including but not limited to a Provisional Certificate, this Option shall expire without penalty or further liability of either party and the agreement to enter into a lease shall be deemed null and void.

Lease Commencement: The Lease Commencement Date shall be deemed to have occurred on the date which is the earlier of (a) the date when Lessor has substantially completed Lessor's Work and made the Premises available to Lessee, broom clean, free of all tenants, occupants and personal property, or (b) the date Lessee commences business operations in the Premises; provided that Lessee has obtained all Approvals and Permits.

Assignment/Sublease: Lessee shall not either voluntarily, or by operation of law assign, transfer, mortgage, pledge, hypothecate or encumber this Lease or any interest therein, and shall not sublet or assign the Premises or any part thereof, or any right or privilege appurtenant thereto, without the written consent of Lessor first had and obtained, which Lessor may withhold in its sole discretion.

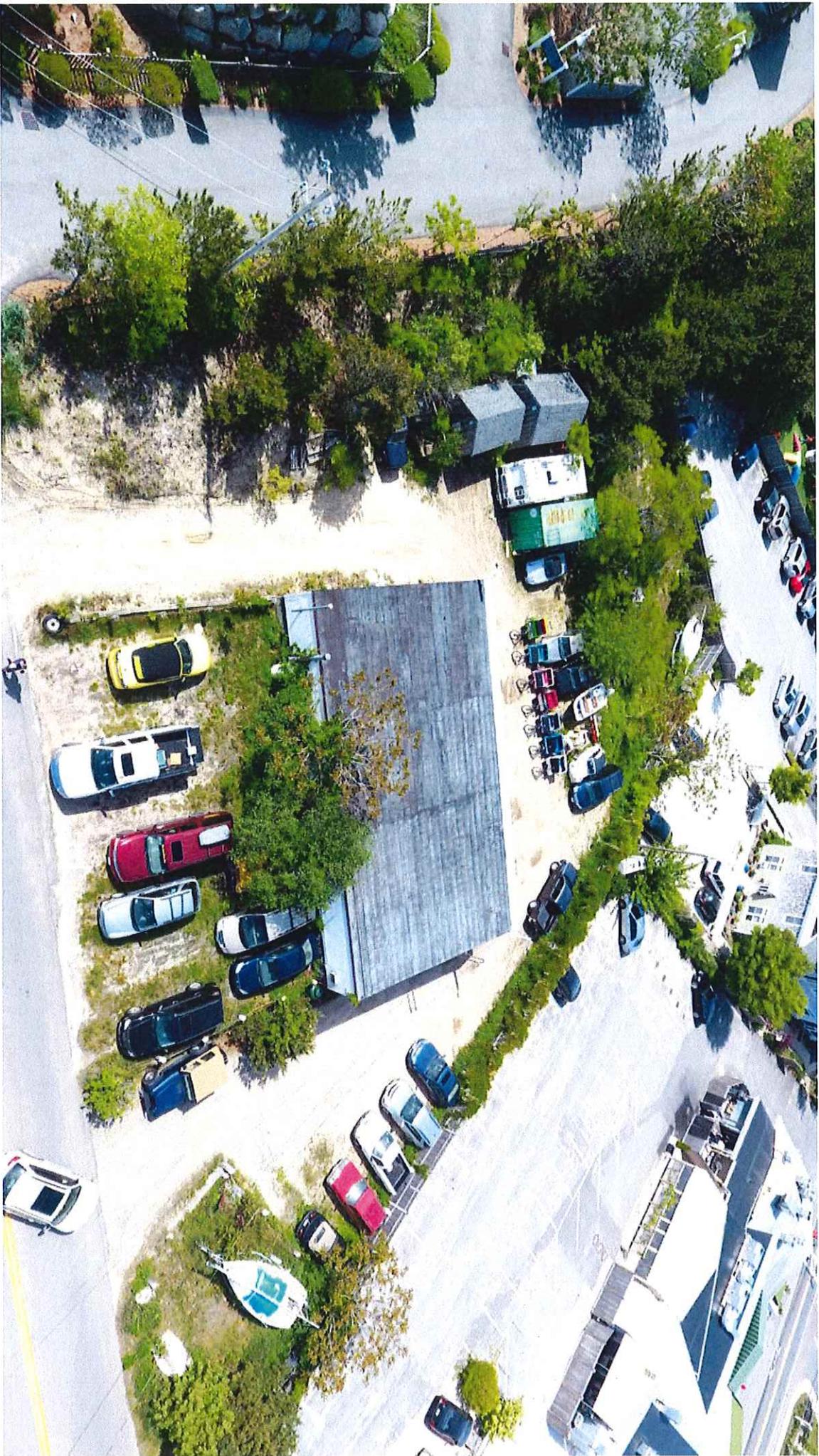
Broker: Both Lessor and Lessee warrant they have not dealt with any brokers in this shall indemnify and hold each other harmless against any and all claims and expenses resulting from a claim by any other party entitled to a commission.

Confidentiality: Lessor and Lessee agree that this proposal and all negotiations and related documentation shall remain confidential by the parties and their respective representatives, except as Lessee may be required to disclose in connection with its application for the Approvals and Permits.

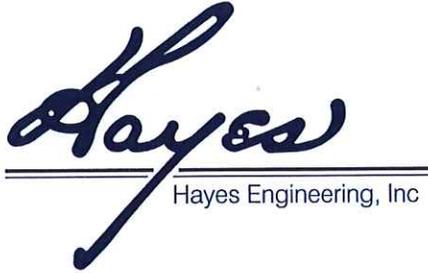
Subject to: This proposed lease transaction is subject to the (i) execution of a mutually acceptable lease, (ii) the Lessor's satisfactory review of Lessee's financial condition, and (iii) Lessor's acquisition of title to the Property. Both parties agree to work in good faith to negotiate and execute a mutually acceptable lease document.

Lessor and Lessee represent and warrant to each other that he or she is fully empowered and authorized to execute and deliver this LOI, and that the individual signing this LOI on its behalf is fully empowered and authorized to do so. This LOI is and will be considered a binding contract. It shall be mutually enforceable by each party as against the other. This LOI may be executed in two counterparts, each of which shall be an original and both of which, when taken together, shall constitute one instrument









603 Salem Street
Wakefield, MA 01880
Tel: (781) 246-2800
Fax: (781) 246-7596

Nantucket, MA 02554
Tel: (508) 228-7909

Lighting Study

Refer to File No. PTN-0001

TO: Provincetown Planning Board
FROM: Tony Capachietti, *Project Manager*
DATE: May 11, 2018
SUBJECT: Verdant Medical, Inc.
Proposed Marijuana Establishment
44 Captain Bertie's Way, Provincetown, MA

Pursuant to the request of the Project Proponent, Verdant Medical, Inc., Hayes Engineering, Inc. (HEI) has prepared the following Lighting Study in support of the Site Plan for the above referenced property. This study identifies the selected pole mounted lighting for the Project and compliance with the Town of Provincetown Zoning By-Laws, section 3431, specifically:

3431 Overspill *Illuminated signs, parking lot lighting, building floodlighting, or other exterior lighting other than municipal street lighting shall be so designed and arranged that their collective result does not create so much light overspill onto adjacent premises or roadway that it casts observable shadows, and so that it does not create glare from unshielded light sources.*

The proposed lighting fixture for the Project is the Eaton Lighting UTLD-AF Traditionaire LED Downlight. A cut sheet for the fixture accompanies this report. The fixture is an efficient LED luminaire with a house-side shield to eliminate light spillover at property lines. The mounting height for all fixtures is 12 feet.

Please refer to the accompanying Figure 1 – Lighting Plan, depicting the locations of fixtures and calculated foot-candle levels. The maximum light spillover at any property line is 0.1-foot candles. Parking and pedestrian areas are illuminated with light levels between 0.8 and 6.8-foot candles.

DESCRIPTION

The Traditionaire AF series LED outdoor luminaire displays the old-fashioned charm of traditional area lighting, enhancing any setting with distinctive styling. As a decorative luminaire, the Traditionaire LED tastefully complements the architectural and environmental design of parks and roadways. The high-lumen downlight configuration uses Eaton's patented AccuLED Optics™ technology to deliver uniform and efficient illumination to pedestrian and roadway applications.

Catalog #		Type	
Project		Date	
Comments			
Prepared by			

SPECIFICATION FEATURES

Construction

Hinged (stainless steel hinge pins) die-cast aluminum housing and cover with cupola. 3G vibration tested to ensure strength of construction and longevity in application.

Optics

Choice of three patented, high-efficiency AccuLED Optic™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT. For the ultimate level of spill light control, an optional

house-side shield accessory can be field or factory installed. Optics are IP66 enclosure rated.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection and 10kV MOV as an optional alternate.

Mounting

Self-aligning pole-top fitter for 3" O.D. pole tops or vertical tenons. Square headed 1-1/4" polymer coated mounting bolts with a lock nut.

Finish

Cast components finished in a super durable black TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Optional colors include: bronze, grey and white. RAL and custom color matches available.

Warranty

Five-year warranty.

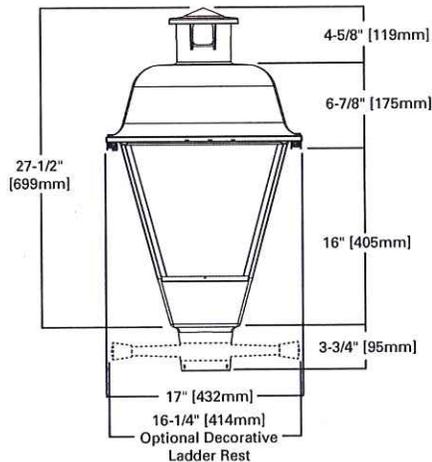


UTLD TRADITIONAIRE LED DOWNLIGHT

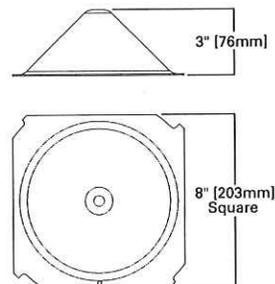
AF24
Solid State LED

DECORATIVE POST TOP
LUMINAIRE

DIMENSIONS



OPTIONAL BIRD CONE



CERTIFICATION DATA

UL and cUL Wet Location Listed
3G Vibration Rated
IP66 Rated
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

EPA

Effective Projected Area: (Sq. Ft.)
2.3

SHIPPING DATA

Approximate Net Weight:
22.8 lbs. (10.34 kgs.)

POWER AND LUMENS (STANDARD CONFIGURATION - NO LENSES OR BIRD CONE)

Light Engine *	AF24-20	AF24-30	AF24-40	AF24-50	AF24-60	AF24-70	AF24-80	AF24-90	AF24-100	
Nominal Power (Watts)	21	31	40	54	64	74	83	94	96	
Wattage Label	20	30	40	50	60	70	80	90	100	
Current @ 120V (A)	0.18	0.26	0.34	0.45	0.53	0.62	0.70	0.78	0.80	
Current @ 277V (A)	--	0.12	0.15	0.21	0.24	0.28	0.31	0.35	0.35	
Current @ 347V (A)	--	0.10	0.13	0.16	0.19	0.22	0.24	0.28	0.28	
Current @ 480V (A)	--	0.07	0.09	0.13	0.14	0.17	0.18	0.21	0.21	
Optics										
T2U	4000K	2,429	3,400	4,420	5,666	6,587	7,371	8,064	8,722	8,740
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3
	3000K	2,150	3,010	3,912	5,016	5,831	6,524	7,139	7,720	7,737
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T3	4000K	2,410	3,373	4,384	5,621	6,534	7,312	8,000	8,652	8,670
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
	3000K	2,133	2,985	3,881	4,976	5,784	6,472	7,082	7,659	7,675
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T4W	4000K	2,413	3,377	4,390	5,628	6,542	7,321	8,010	8,663	8,681
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
	3000K	2,136	2,989	3,886	4,982	5,791	6,480	7,090	7,668	7,684
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
5WQ	4000K	2,510	3,513	4,567	5,855	6,806	7,616	8,333	9,012	9,031
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
	3000K	2,222	3,110	4,043	5,183	6,025	6,742	7,376	7,977	7,994
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G2

NOTE: * Photometric data is reported for lower hemisphere only.

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (50,000 hours)	TM-21 Lumen Maintenance (75,000 hours)	TM-21 Lumen Maintenance (100,000 hours)	Theoretical L70 (Hours)
25°C - 50°C	>91%	>87%	>83%	>204,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99
50°C	0.96

ORDERING INFORMATION

Sample Number: UTLD-AF24-30-D-U-T3-4N7-7030

Product Family ¹	Light Engine ²	Wattage Bucket	Driver	Voltage	Distribution
UTLD=Traditionaire™ LED Downlight	AF24	20 ³ 30 40 50 60 70 80 90 100	D=Dimming (0-10V) 5LTD=DALI ⁴	U=Universal (120-277V) 2=120V ³ 8=480V ^{5,6} 9=347V ^{5,6}	T2U=Type II Urban T3=Type III T4W=Type IV Wide 5WQ=Type V Square Wide
Options (Add as Suffix)			Color	Accessories (Order Separately)	
[BLANK]=10kV UL 1449 Surge Protection Device ⁷ 10MSP=10kV MOV Surge Protection Device ⁷ 7030=70 CRI / 3000K CCT ⁸ 4=NEMA Photocontrol Receptacle ⁹ 4N7=NEMA 7-PIN Twistlock Photocontrol Receptacle HA=50C High Ambient Temperature ¹⁰ W=20' #10 Leads S=Snap Latches for Tool-less Light Replacement J=Factory Installed Ladder Rest A=Refractive Lens Panels ¹¹ BC=Bird Cone ¹¹ HSS=Factory Install UTLD House Side Shield for AF24 ¹²			[BLANK]=Black ¹³ AP=Grey BZ=Bronze WH=White	TA1BK=Decorative Ladder Rest for Field Installation (Black) OA/RA1013=NEMA Photocontrol - 120V OA/RA1014=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA1223=10kV Surge Module Replacement HS-UTLD-24=Field Installed UTLD House Side Shield for AF24 ¹²	

NOTES:

- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
- Standard 4000K CCT and nominal 70 CRI.
- AF24-20 only available in 120V.
- Only available in universal voltage. Consult your lighting representative at Eaton if custom programming is required. Not available with AF24-90, AF24-100. Consult your lighting representative at Eaton if greater than AF-80 (83W) is needed.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Not available with 5LTD driver.
- 10kV UL 1449 Surge Protection Device standard unless 10MSP option specified.
- Use dedicated IES files for 3000K when performing layouts. These files are published on the UTLD Traditionaire product page on the website.
- If *4* selected, dimming functionality not available, dimming leads will be capped.
- Not available with HSS or 5LTD driver.
- Refractive lens panels and bird cone cannot be ordered together.
- HSS not available with 5WQ distribution.
- Black finish standard unless other color option specified.

Ⓢ A EATON - STREETWORKS (FORMER COOPER LIGHTING) UTLD-AF24-100-D-U-T3-HSS
 INNOVATIONS CENTER(G1) test report no. P239676
 lamp(s): XXX
 candela file 'UTLD-AF24-100-D-U-T3-HSS.ies'
 24 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.850, watts per luminaire = 96
 mounting height= 12 ft
 number locations= 8, number luminaires= 8
 kw all locations= 0.8

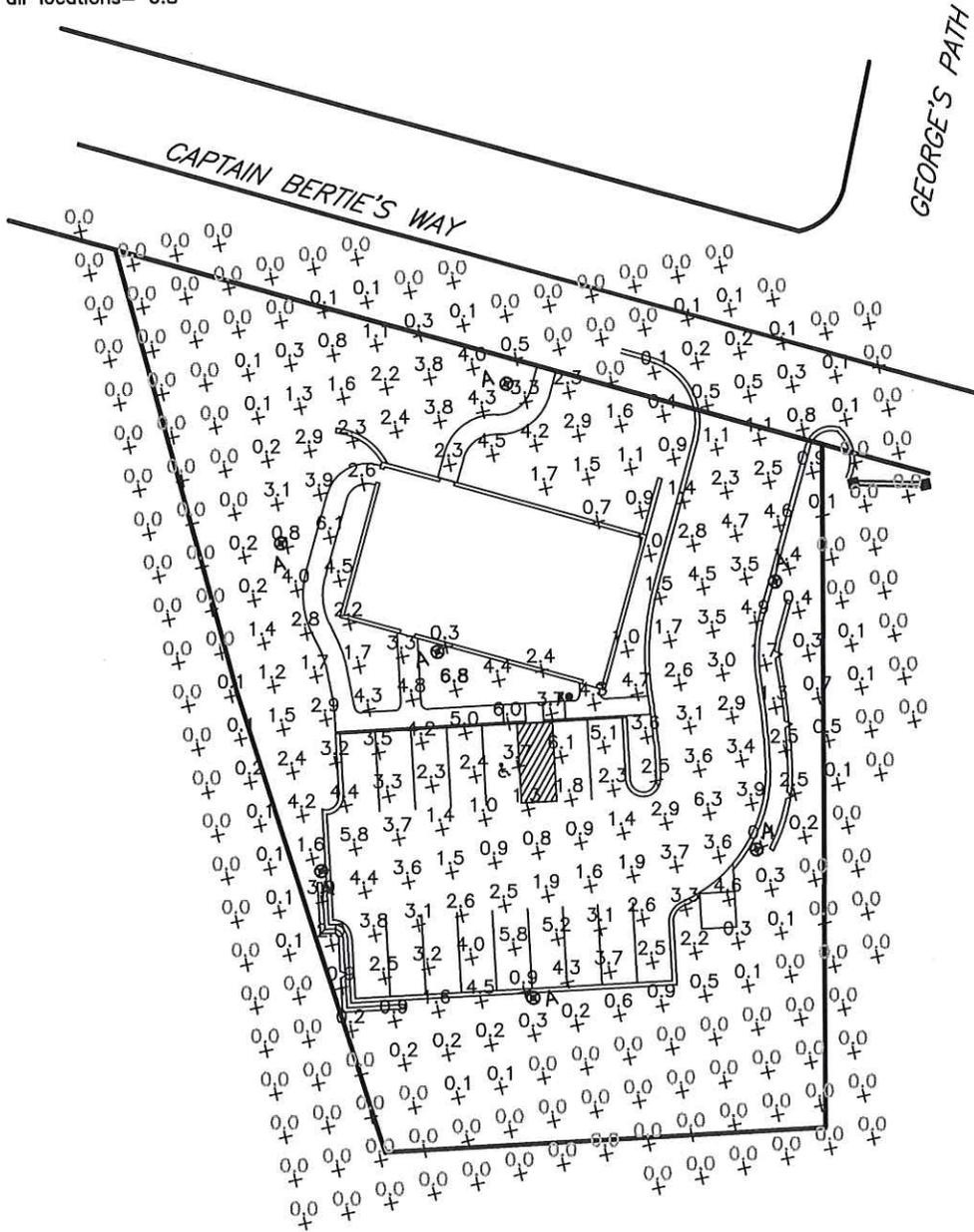
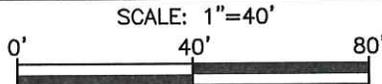


FIGURE 1
LIGHTING PLAN

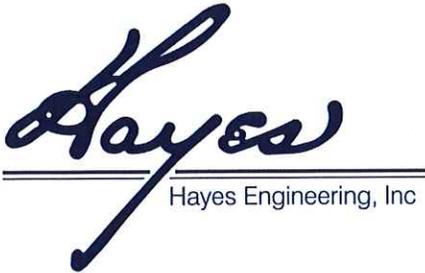
PROPOSED RME
 44 CAPTAIN BERTIE'S WAY
 PROVINCETOWN, MASS.



SOURCE:



5/11/2018



603 Salem Street
Wakefield, MA 01880
Tel: (781) 246-2800
Fax: (781) 246-7596

Traffic Impact Statement

Nantucket, MA 02554
Tel: (508) 228-7909

Refer to File No. PTN-0001

TO: Provincetown Board of Selectmen
FROM: Tony Capachietti, *Project Manager*
DATE: January 29, 2018
Revised May 11, 2018
SUBJECT: Verdant Medical, Inc.
Proposed Registered Marijuana Dispensary
44 Captain Bertie's Way, Provincetown, MA

Pursuant to the request of the Project Proponent, Verdant Medical, Inc., Hayes Engineering, Inc. (HEI) has prepared the following Traffic Impact Statement in support of the proposed registered marijuana establishment (RME) at the above address. The purpose of this Impact Statement is to evaluate the anticipated Average Daily and Peak Hour trip generation for the facility under both its prior and proposed uses;

The existing 2,232[±] square foot (sf.) building at 44 Captain Bertie's Way is currently occupied by an Automobile Care Center with 5 service bays. The Applicant proposes to modify the existing facility to provide a RME within the existing footprint, adding a second story to expand the gross floor area to 3,826 sf.

Trip Generation

Average Daily Vehicle Trips and Peak Hour Trips for the project are calculated using data published by the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition.

The existing use at the facility is best classified as Institute of Transportation Engineers (ITE) Land Use Code (LUC) 942 – Automobile Care Center, defined in the ITE Trip Generation Manual, 9th Edition as being:

...businesses that provide automobile-related services, such as repair and servicing, stereo installation and seat cover upholstery. Quick lubrication vehicle shop (Land Use 941) and automobile parts and service center (Land Use 943) are related uses.

Trip Generation rates per service bay, and trip generation rates for the 5-bay Automobile Care Center are summarized in Table 1, below:



Traffic Impact Statement
 44 Captain Bertie's Way – Provincetown, MA
 PTN-0001
 January 29, 2018
 Revise May 11, 2018

TABLE 1
 Trip Generation, ITE LUC 942 – Automobile Care Center

<u>Time Period/Direction</u>	<u>Trip Ends Per Service Bay</u>	<u>Vehicle Trip Ends⁽¹⁾</u>
Weekday Daily	<i>est. 21.7⁽²⁾</i>	109
Weekday AM Peak Hour	1.52	8
<i>68% Entering</i>		6
<i>32% Exiting</i>		2
Weekday PM Peak Hour	2.17	11
<i>Not Published</i>		-
<i>Not Published</i>		-
Saturday Daily	12.48	62
Sunday Daily	2.03	10
<i>(1) Based on 5 Service Bays</i>		
<i>(2) Estimate based on Peak Hour being 10% of Daily Trips</i>		

The proposed RMD use classified as Institute of Transportation Engineers (ITE) Land Use Code (LUC) 826, Specialty Retail, defined in the ITE Trip Generation Manual, 9th Edition as being:

...generally small strip shopping centers that contain a variety or retail shop and specialize in quality apparel, hard goods and services, such as real estate offices, dance studios and small restaurants.

Trip Generation rates per 1,000 square feet (sf.) of Gross Floor Area, and trip generation rates for the proposed 3,826 sf. RMD are summarized in Table 2, below:

TABLE 2
 Trip Generation, ITE LUC 826 – Specialty Retail

<u>Time Period/Direction</u>	<u>Trip Ends Per 1,000-SF.</u>	<u>Vehicle Trip Ends⁽¹⁾</u>
Weekday Daily	44.32	170
Weekday AM Peak Hour	6.84	26
<i>48% Entering</i>		12
<i>52% Exiting</i>		14
Weekday PM Peak Hour	5.02	19
<i>56% Entering</i>		11
<i>44% Exiting</i>		8
Saturday Daily	42.04	161
Sunday Daily	20.43	78
<i>(1) Based on 3,826-sf. Gross Leasable Area</i>		



Traffic Impact Statement

44 Captain Bertie's Way – Provincetown, MA

PTN-0001

January 29, 2018

Revise May 11, 2018

Table 3, below, compares estimated vehicle trip ends for the existing Auto Care Center use and proposed RME use:

TABLE 3

Trip Generation, *Summary – Prior Use vs. Proposed RME*

<u>Time Period/Direction</u>	<u>Prior Use (Auto Care Center) Vehicle Trip Ends</u>	<u>Proposed RME Vehicle Trip Ends</u>	<u>Change in Trip Ends</u>
Weekday Daily	109	170	+61
Weekday AM Peak Hour	8	26	+18
Weekday PM Peak Hour	11	19	+8
Saturday Daily	62	161	+99
Sunday Daily	10	78	+68

The proposed RME will increase anticipated trip generation levels at the facility when compared to the existing automotive repair use for average weekday trips. Minor increases in trip generation are anticipated to occur, however these increases would represent a small amount of anticipated traffic in the area during these periods based on observed uses within the project vicinity.

The Applicant will provide the following mitigation efforts to decrease the use of single occupancy vehicles for accessing the site:

- a. Provide subsidies to employees who select to use the Provincetown/North Truro Shuttle for commuting to work during the high season. The nearest shuttle stop is located within 1,500 feet walking distance from the Shank Painters Road Stop and Shop stop to the front door of the facility;
- b. Provide bicycle racks and indoor bicycle storage to encourage alternative transportation for customers and employees;
- c. Provide lockers in the break room for employees that walk or bike to work;
- d. Provide customers with information regarding transportation options to access the facility;
- e. Provide and maintain information on the Verdant Medical website and other distributed materials on how to access the facility by all modes of transportation with an emphasis on public transit and non-automobile modes;
- f. Provide a "Guaranteed Ride Home" in emergencies for those employees selecting alternative modes of transportation for their daily commute.



CHARLES D. BAKER
Governor

KARYN E. POLITO
Lieutenant Governor

The Commonwealth of Massachusetts
Executive Office of Health and Human Services
Department of Public Health
Bureau of Health Care Safety and Quality
Medical Use of Marijuana Program
99 Chauncy Street, 11th Floor, Boston, MA 02111

MARYLOU SUDDERS
Secretary

MONICA BHAREL, MD, MPH
Commissioner

Tel: 617-660-6370
www.mass.gov/medicalmarijuana

March 31, 2017

BY U.S. MAIL AND E-MAIL

Mr. Alexander Eriksen
Verdant Medical, Inc.
109 State Street, Suite 404
Boston, MA 02109

Re: Provisional Certificate of Registration for a Registered Marijuana Dispensary for a Dispensary, Cultivation and Processing Facility in Randolph

Dear Mr. Eriksen:

Please be advised that Verdant Medical, Inc. has been selected to receive a Registered Marijuana Dispensary ("RMD") Provisional Certificate of Registration at its proposed co-located Randolph facility and to move forward to the Inspectional Phase. The issuance of this RMD Provisional Certificate of Registration is subject to the following ongoing conditions:

1. All dispensary agents and capital contributors shall be subject to a background check as set forth in the *Guidance for Registered Marijuana Dispensaries Regarding Background Checks* prior to commencing work as a dispensary agent or contributing funds to the RMD.
2. The RMD shall comply with the Humanitarian Medical Use of Marijuana Act, Ch. 369 of the Acts of 2012 (the "Act"), as implemented by Department of Public Health (the "Department") Regulations, 105 CMR 725.000, et seq. ("Regulations"), during the period of its provisional registration, except as expressly waived in writing by the Department pursuant to 105 CMR 725.700.
3. The RMD shall be subject to inspection and audit to ascertain compliance with any applicable law or regulation, including laws and regulations of the Commonwealth relating to taxes, child support, workers compensation, and professional and commercial insurance coverage.
4. The RMD shall be subject to inspection and audit to ascertain that the RMD is operating at all times in a manner not detrimental to public safety, health, or welfare.

5. The RMD shall be subject to inspection and audit to ascertain that its facilities are compliant with all applicable state and local codes, bylaws, ordinances and regulations.
6. The RMD shall be subject to inspection and audit to ascertain that it has sufficient financial resources to meet the requirements of the Act or 105 CMR 725.000, et seq.
7. The RMD shall cooperate with and provide information to Department inspectors, agents and employees upon request.
8. The RMD shall, as necessary, amend its bylaws to expressly require compliance with 725.100(A)(1) and the "*Guidance for Registered Marijuana Dispensaries Regarding Non-Profit Compliance*" by stating that the RMD shall "at all times operate on a non-profit basis for the benefit of registered qualifying patients" and shall "ensure that revenue of the RMD is used solely in furtherance of its nonprofit purpose." If the bylaws do not expressly include such requirement, they shall be amended within thirty days of the date of this letter and the amended bylaws shall be filed with the Department by mail at the above address and by email at RMDcompliance@state.ma.us.
9. The RMD shall keep current all information required by 105 CMR 725.000, et seq., or as otherwise required by the Department pursuant to 725.100(F)(4) and may not make certain changes without prior approval from the Department pursuant to 725.100(F)(1)-(3).
10. The RMD must submit payment of the registration fee required pursuant to 105 CMR 725.100(C)(1) and 801 CMR 4.02.

In the Inspections Phase, the Department will continue to verify, among other things, that the RMD will operate in compliance with the RMD operational requirements, see 105 CMR 725.105 (A)-(Q), and security requirements, see 105 CMR 725.110(A)-(F). Furthermore, the Department may impose other conditions that the Department determines necessary to ensure the RMD will operate in accordance with applicable Massachusetts laws and regulations.

Please be advised pursuant to 105 CMR 725.100(C)(1) the Department may issue a Final Certificate of Registration only after an applicant has successfully completed the Inspections Phase and the Department has issued final approval.

Please mail the enclosed remittance form with a bank/cashier's check in the amount of \$50,000 payable to the Commonwealth of Massachusetts within thirty (30) days of the date of this letter to:

Department of Public Health
Medical Use of Marijuana Program
RMD Registration
99 Chauncy Street, 11th Floor
Boston, MA 02111

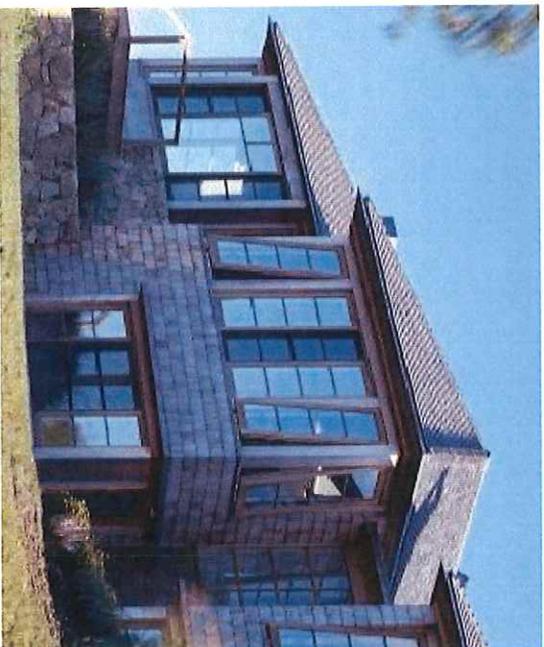
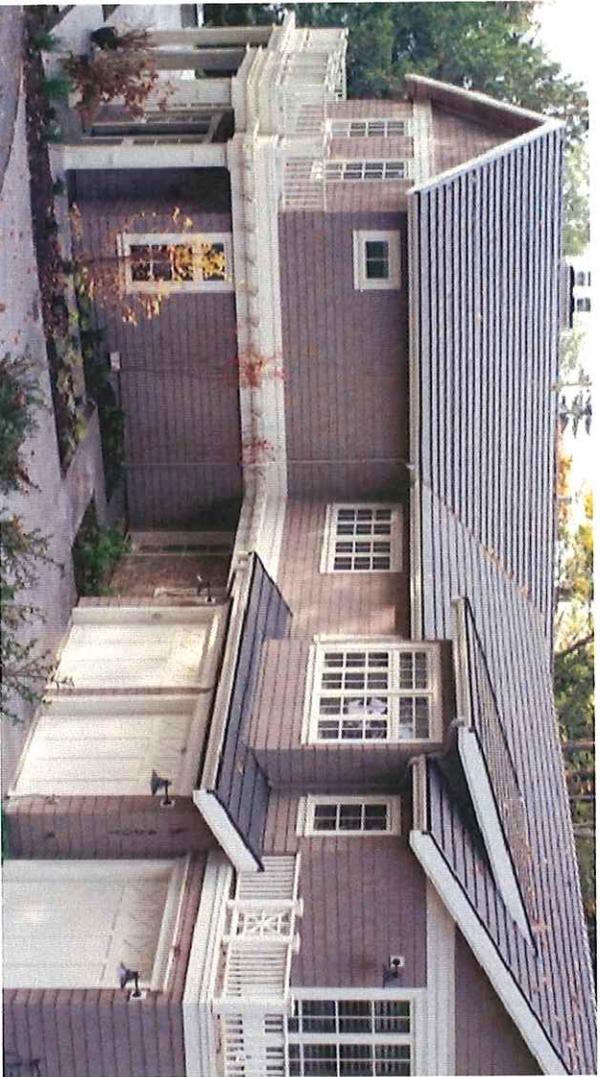
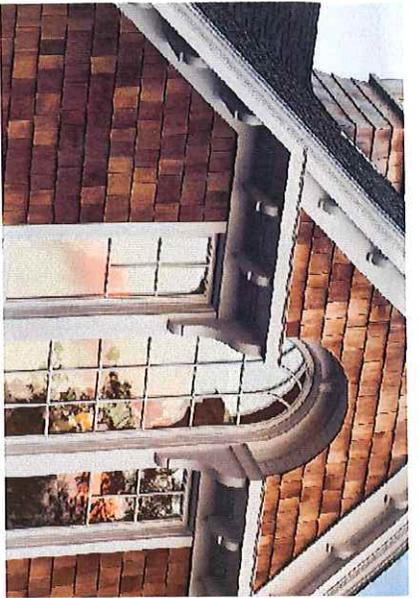
After the registration fee is processed, this letter shall serve as Verdant Medical, Inc.'s Provisional Certificate of Registration with the aforementioned conditions. The Department will continue to verify all information provided by the RMD, and that the RMD is compliant with applicable Massachusetts law and regulations. It is within the Department's discretion to revoke this Provisional Certificate of Registration at any time.

Should you have any questions, please contact the Department at RMDcompliance@state.ma.us.

Sincerely,



Eric Sheehan, J.D.
Bureau Director
Bureau of Health Care Safety and Quality
Massachusetts Department of Public Health



Provincetown Dispensary

44 Captain Bertie's Way, Provincetown, MA 02657

Verdant Medical, Inc.

Drawn by: ---

BKA # ---

A-3

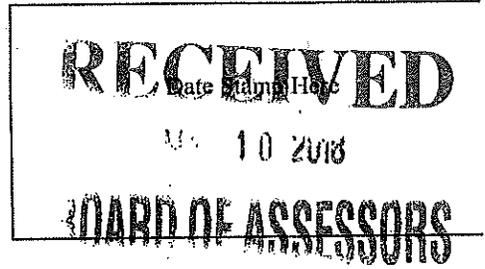
Date: 05/14/18



Fee Paid: _____
 Cash: _____
 Check: _____
 Extra Fees: _____
 Mailing: _____
 Extra Labels: _____
 Entered in Log: CB



Town of Provincetown
DMF/Assessors
CERTIFIED ABUTTERS LIST



Person Making Request	Becca Rutenberg		
Address	137 Lewis Wharf, Boston, MA 02110		
Phone (Home)	610-675-5958	Phone (Work/Bus)	617-391-0065

Property Location (Street Address)	44 Captain Bertie's Way, Provincetown, MA 02657
Map/Parcel Number	8-2-28

Board of Submission	Criteria	Check One	Board of Submission	Criteria	Check One	Extra Labels
Board of Health	Immd. Abutters	<input type="checkbox"/>	Conservation Commission	100 Ft.	<input type="checkbox"/>	Yes No
Cape Cod Commission	Immd. Abutters	<input type="checkbox"/>	Licensing Board	75 Feet	<input type="checkbox"/>	Yes No
Curb Cut	Immd. Abutters	<input type="checkbox"/>	Liquor License	500 Feet Sch/Church	<input type="checkbox"/>	Yes No
Historic District Commission	75 Feet	<input type="checkbox"/>	Planning Board	300 Feet	<input checked="" type="checkbox"/>	Yes No
Pole Hearing	Immd. Abutters	<input type="checkbox"/>	Zoning Board of Appeals	300 Feet	<input type="checkbox"/>	Yes No

Three copies, please

Certification

I certify to the Board of Submission (see above) that the following list contains all parties in interest and their addresses, as set forth in Massachusetts General Laws, c 40A, § 11, consisting of persons who are owners of land immediately abutting the above-identified property, owners of land directly opposite said property on any street or way, abutters to abutters within (see above criteria) feet of the said property, and/or parties in interest, all as they appear on the most recent applicable tax list.

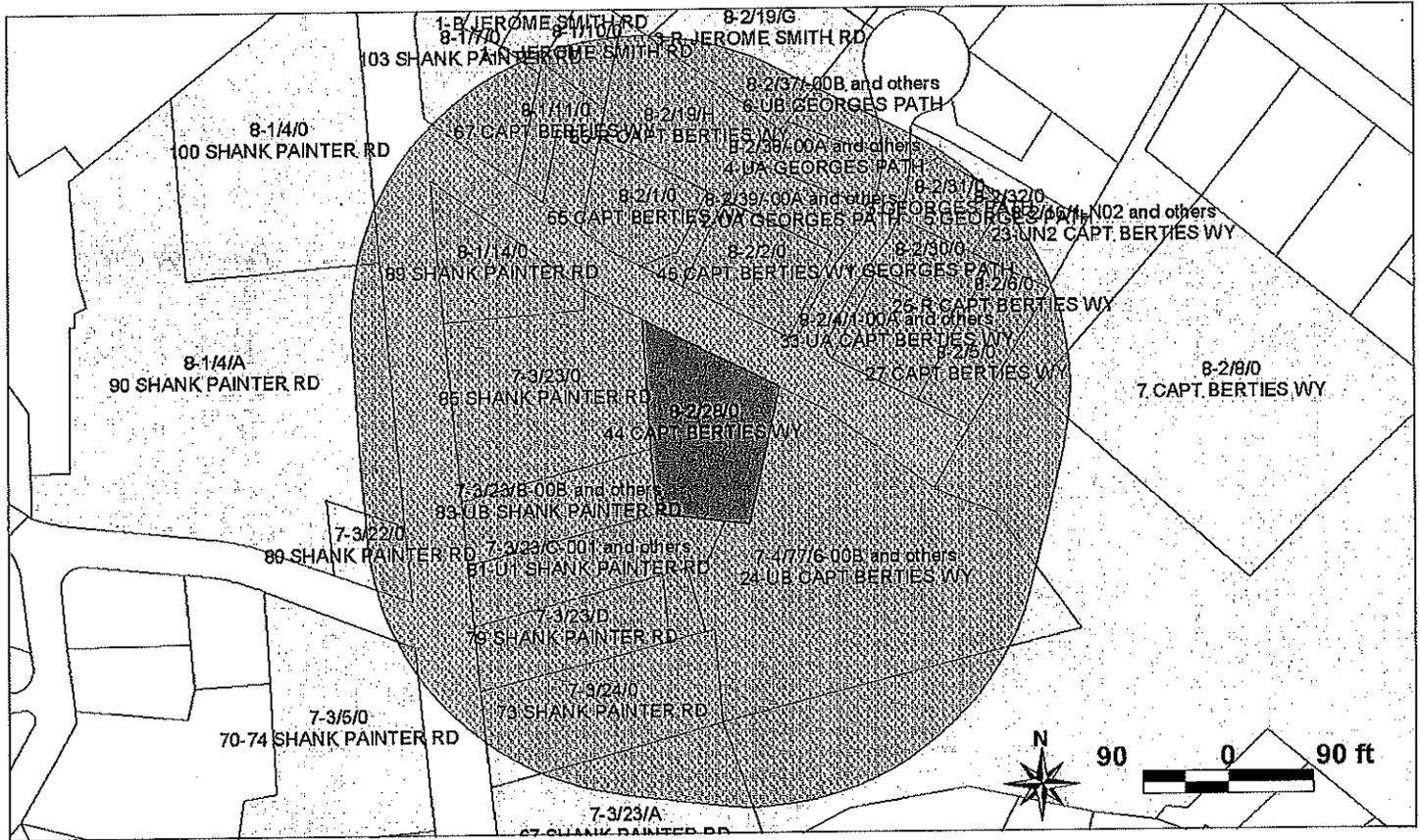
This certification shall be valid for a period of thirty (30) days from date of process.

Scott Fahle
 Principal Assessor

(We have ten days to process request)

TOWN OF PROVINCETOWN, MA
 BOARD OF ASSESSORS
 260 Commercial Street

Abutters List Within 300 feet of Parcel 8-2/28/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1428	7-3-5-0-R	DUNEHURST REALTY TRUST CHARLES W SILVA ET UX TTEES	70-74 SHANK PAINTER RD	39 SHIPS WAY RD	PROVINCETOWN	MA	02657
1452	7-3-22-0-R	NSTAR ELECTRIC CO PROPERTY TAX DEPT	80 SHANK PAINTER RD	PO BOX 270	HARTFORD	CT	06141
1453	7-3-23-0-R	BAY OCEAN PROPERTIES LLC	85 SHANK PAINTER RD	PO BOX 1768	WELLFLEET	MA	02667
1454	7-3-23-A-R	KITTY'S REALTY TR CHERI SMITH TTEE	67 SHANK PAINTER RD	PO BOX 1986	PROVINCETOWN	MA	02657
1461	7-3-23-D-R	FIVE STAR PET SERVICES LLC	79 SHANK PAINTER RD	C/O CROWNE POINT INN 82 BRADFORD ST	PROVINCETOWN	MA	02657
9374	7-3-23-B-00A-R	83 SHANK PAINTER R T UNIT A JOHN S KELLEY TTEE	83-UA SHANK PAINTER RD	725 STATE HWY	EASTHAM	MA	02642
9375	7-3-23-B-00B-R	CHR 83 SPR LLC 83 SHANK PAINTER ROAD CONDO	83-UB SHANK PAINTER RD	PO BOX 1015	PROVINCETOWN	MA	02657
1457	7-3-23-C-001-R	81 SHANK PAINTER REALTY TR C/O HARVARD ASSOCIATES INC	81-U1 SHANK PAINTER RD	3 FREEMAN ST	PROVINCETOWN	MA	02657
1458	7-3-23-C-002-R	MAYEUX PATRICK	81-U2 SHANK PAINTER RD	20 CHESTNUT ST #601	CAMBRIDGE	MA	02139
1459	7-3-23-C-003-R	BUDGIE NOMINEE TRUST DAVID C BEDARD TTEE	81-U3 SHANK PAINTER RD	81 SHANK PAINTER RD	PROVINCETOWN	MA	02657
1460	7-3-23-C-004-R	BUDGIE NOMINEE TRUST DAVID C BEDARD TTEE	81-U4 SHANK PAINTER RD	81 SHANK PAINTER RD	PROVINCETOWN	MA	02657
1462	7-3-24-0-R	QUAHOG REALTY TR MICHAEL S TROVATO TTEE	73 SHANK PAINTER RD	PO BOX 486	PROVINCETOWN	MA	02657
1562	7-4-70-0-E	TOWN OF PROVINCETOWN SCHOOL COMMITTEE	12 WINSLOW ST	260 COMMERCIAL STREET	PROVINCETOWN	MA	02657
1590	7-4-77-A-R	FIVE STAR PET SERVICES LLC	79-R SHANK PAINTER RD	C/O CROWNE POINT INN 82 BRADFORD ST	PROVINCETOWN	MA	02657
1574	7-4-77-1-00E-R	TARVERS CHRISTINA	24-UE CAPT BERTIES WY	24 CAPT BERTIES WAY #E	PROVINCETOWN	MA	02657

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1575	7-4-77-1-00F-R	R & R REALTY TR RONALD D BAKER TTEE	24-UF CAPT BERTIES WY	462 SUMMER ST	DUXBURY	MA	02332
1576	7-4-77-2-00G-R	MAHONEY JAMES ET AL RICHARD CADIER	24-UG CAPT BERTIES WY	7337 DONATELLO CT	NAPLES	FL	34114
1577	7-4-77-2-00H-R	BENVENUTI ROBERT J ET AL JEFFREY P LANGEVIN	24-UH CAPT BERTIES WY	19 BURROUGHS ST #1	JAMAICA PLAIN	MA	02130
1578	7-4-77-3-00I-R	WHALEN BRIAN E	24-UI CAPT BERTIES WY	10 ASHLAND RD	CRANSTON	RI	02921
1579	7-4-77-3-00J-R	24 CAPTAIN BERTIES WAY LLC	24-UJ CAPT BERTIES WY	5 AVERY RIDGE LN	HAMPTON FALLS	NH	03844
1580	7-4-77-4-00K-R	HATFIELD DONALD D ET VIR SAM J STIDHAM	24-UK CAPT BERTIES WY	24-UK CAPT BERTIES WY	PROVINCETOWN	MA	02657
1581	7-4-77-5-00L-R	THOMMEN DAVID K	24-UL CAPT BERTIES WY	450 LAKE AVE	BRIDGEPORT	CT	06605
1582	7-4-77-5-00M-R	MCKENZIE WILLIAM A ET AL PHILIP PARISEAU	24-UM CAPT BERTIES WY	781 LINCOLN ST	FRANKLIN	MA	02038
1583	7-4-77-6-00A-R	WASHINGTON JEANNE M	24-UA CAPT BERTIES WY	24 CAPT BERTIE'S WAY #A	PROVINCETOWN	MA	02657
1584	7-4-77-6-00B-R	LANE GLEN A	24-UB CAPT BERTIES WY	24 CAPT BERTIE'S WAY #B	PROVINCETOWN	MA	02657
1585	7-4-77-7-00C-R	HALMI CHRISTIAN T ET VIR CHARLES C DANIEL JR	24-UC CAPT BERTIES WY	24-UC CAPT BERTIES WY	PROVINCETOWN	MA	02657
1586	7-4-77-7-00D-R	FERREIRA HELENA I	24-UD CAPT BERTIES WY	24 CAPT BERTIE'S WAY #D	PROVINCETOWN	MA	02657
1587	7-4-77-8-00N-R	KEEGAN PEGGY	24-UN CAPT BERTIES WY	24-UN CAPT BERTIES WY	PROVINCETOWN	MA	02657
1588	7-4-77-9-00O-R	CHANNELL STEPHEN K ET AL WILLIAM J POIRIER	24-UO CAPT BERTIES WY	1504 LEWIS O GRAY DR	SAUGUS	MA	01906
1589	7-4-77-9-00P-R	ATHINEOS ELIZABETH S	24-UP CAPT BERTIES WY	95 BELLFLOWER RD	BILLERICA	MA	01821
1591	7-4-77-A-00Q-R	BEAUCHAMP CATHERINE ET AL J SCHLAUDER-LIN F H LIN	24-UQ CAPT BERTIES WY	2709 E 8TH ST	LONG BEACH	CA	90804
1592	7-4-77-A-00U-R	GOULD JEFFREY R	24-UU CAPT BERTIES WY	24-UU CAPT BERTIES WY	PROVINCETOWN	MA	02657
1593	7-4-77-B-00R-R	GLENN WAMBOLT 2011 TR GLENN WAMBOLT TTEE	24-UR CAPT BERTIES WY	11 PINE LEDGE TERRACE	NORTH ATTLEBORO	MA	02760
1594	7-4-77-B-00S-R	ANTHONY R M GRASSO REV TR ET A JOHN A GARISTO REV TR	24-US CAPT BERTIES WY	5208 CARMILFRA DRIVE	SARASOTA	FL	34231
1598	8-1-4-0-R	V S H REALTY INC	100 SHANK PAINTER RD	TAX DEPT 165 FLANDERS ROAD	WESTBOROUGH	MA	01581
4103	8-1-4-A-R	PROVINCE LANDING LTD PARTNERS	90 SHANK PAINTER RD	PO BOX 52427	ATLANTA	GA	30355
1601	8-1-7-0-R	TD BANK NA	103 SHANK PAINTER RD	380 WELLINGTON ST TOWER B 12TH FLOOR	LONDON ONTARIO		N6A 4S4 ONTARIO
1603	8-1-9-0-R	KARN IAN B	1-B JEROME SMITH RD	1-B JEROME SMITH RD	PROVINCETOWN	MA	02657
1604	8-1-10-0-R	RODRIGUES PAUL L ET AL MATTHEW M TRENTO	1-C JEROME SMITH RD	1 PARK LN #1712	BOSTON	MA	02210
1605	8-1-11-0-R	KENNEDY MARY P	67 CAPT BERTIES WY	PO BOX 61	PROVINCETOWN	MA	02657
1606	8-1-12-0-R	KACERGIS MICHAEL A ET UX KATHRYN KACERGIS	63 CAPT BERTIES WY	63 CAPT BERTIES WAY	PROVINCETOWN	MA	02657
1608	8-1-14-0-R	COSTA JAMES M	89 SHANK PAINTER RD	P O BOX 574	SO ORLEANS	MA	02662
1610	8-2-1-0-R	MENDES PAUL C ET UX VICTORIA MENDES	55 CAPT BERTIES WY	55 CAPT BERTIES WY	PROVINCETOWN	MA	02657
1611	8-2-2-0-R	MENDES PAUL C ET UX VICTORIA M MENDES	45 CAPT BERTIES WY	55 CAPT BERTIES WY	PROVINCETOWN	MA	02657
1612	8-2-3-0-R	KATHLEEN C MEADS FAM TR KATHLEEN C MEADS TTEE	39 CAPT BERTIES WY	BOX 922	PROVINCETOWN	MA	02657
11097	8-2-4-1-00A-R	33 CAPTAIN BERTIE'S CD KATHLEEN C MEADS	33-UA CAPT BERTIES WY	P.O. BOX 922	PROVINCETOWN	MA	02657
11099	8-2-4-1-00B-R	33 CAPTAIN BERTIE'S CD KATHLEEN C MEADS	33-UB CAPT BERTIES WY	PO BOX 922	PROVINCETOWN	MA	02657
11101	8-2-4-1-00C-R	33 CAPTAIN BERTIE'S WAY CD KATHLEEN C MEADS	33-UC CAPT BERTIES WY	P.O. BOX 922	PROVINCETOWN	MA	02657
11103	8-2-4-1-00D-R	33 CAPTAIN BERTIE'S CD KATHLEEN C MEADS	33-UD CAPT BERTIES WY	P.O. BOX 922	PROVINCETOWN	MA	02657
1614	8-2-5-0-R	MEDEIROS WESLEY ET AL FRANCIS & RITA MEDEIROS LIFE E	27 CAPT BERTIES WY	27 CAPT BERTIES WY	PROVINCETOWN	MA	02657
1615	8-2-6-0-R	MEDEIROS WESLEY F ET AL FRANCIS & RITA MEDEIROS LIFE E	25-R CAPT BERTIES WY	27 CAPT BERTIES WY	PROVINCETOWN	MA	02657
1617	8-2-8-0-E	TOWN OF PROVINCETOWN WATER & SEWER BOARD	7 CAPT BERTIES WY	26 ALDEN ST	PROVINCETOWN	MA	02657
1631	8-2-16-1-N01-R	SCHOLZ KAREN ET AL HEIDI BRIGHT	23-UN1 CAPT BERTIES WY	97 MOUNT VERNON WEST RD	EAST WEYMOUTH	MA	02189
1632	8-2-16-1-N02-R	MELLO JEFFREY A	23-UN2 CAPT BERTIES WY	23-UN2 CAPT BERTIES WY	PROVINCETOWN	MA	02657
1633	8-2-16-2-M01-R	ZAMBRELLO ROBERT J	23-R UM1 CAPT BERTIES WY	252 GRACEY RD	CANTON	CT	06019-2114
1634	8-2-16-2-M02-R	ATKIN BARRIE	23-R UM2 CAPT BERTIES WY	265 BISHOPS FOREST DR	WALTHAM	MA	02452-8804

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1640	8-2-19-B-E	TOWN OF PROVINCETOWN	3-A JEROME SMITH RD	260 COMMERCIAL ST	PROVINCETOWN	MA	02657
1645	8-2-19-G-E	TOWN OF PROVINCETOWN	3-R JEROME SMITH RD	260 COMMERCIAL ST	PROVINCETOWN	MA	02657
1646	8-2-19-H-R	MENDES PAUL C ET UX VICTORIA M MENDES	55-R CAPT BERTIES WY	55 CAPT BERTIES WAY	PROVINCETOWN	MA	02657
1658	8-2-28-0-R	STUERMER KLAUS PETER	44 CAPT BERTIES WY	PO BOX 10	PROVINCETOWN	MA	02657
1660	8-2-30-0-R	KATHLEEN C MEADS FAM TR KATHLEEN C MEADS TTEE	1 GEORGES PATH	BOX 922	PROVINCETOWN	MA	02657
1661	8-2-31-0-R	KATHLEEN C MEADS FAM TR KATHLEEN C MEADS TTEE	3 GEORGES PATH	BOX 922	PROVINCETOWN	MA	02657
1662	8-2-32-0-R	KATHLEEN C MEADS FAM TR KATHLEEN C MEADS TTEE	5 GEORGES PATH	BOX 922	PROVINCETOWN	MA	02657
8866	8-2-37-00A-R	MARTINEZ MARY B	6-UA GEORGES PATH	C/O ARTHUR MARTINEZ PO BOX 455	N TRURO	MA	02652
8867	8-2-37-00B-R	HURST MAUREEN	6-UB GEORGES PATH	PO BOX 1837	PROVINCETOWN	MA	02657
1669	8-2-38-00A-R	TUCKER DIANE M	4-UA GEORGES PATH	12 KIMBALL RD #1	WATERTOWN	MA	02472
1670	8-2-38-00B-R	SPURGAS EDWIN R JR ET AL MICHAEL MCCORMICK	4-UB GEORGES PATH	49 KENELM DR	MARSHFIELD	MA	02050
1672	8-2-39-00A-R	FAIDELL BRIAN R ET AL CARMEN L VETERE	2-UA GEORGES PATH	14 I STREET APT#2	BOSTON	MA	02127
1673	8-2-39-00B-R	LALLY THOMAS L ET AL DAVID L LAPLANTE	2-UB GEORGES PATH	327 FINCH RD	RAYNHAM	MA	02767

7-3-5-0-R	DUNEHURST REALTY TRUST CHARLES W SILVA ET UX TTEES 39 SHIPS WAY RD PROVINCETOWN, MA 02657	7-3-22-0-R	NSTAR ELECTRIC CO PROPERTY TAX DEPT PO BOX 270 HARTFORD, CT 06141	7-3-23-0-R	BAY OCEAN PROPERTIES LLC PO BOX 1768 WELLFLEET, MA 02667
7-3-23-A-R	KITTY'S REALTY TR CHERI SMITH TTEE PO BOX 1986 PROVINCETOWN, MA 02657	7-3-23-D-R	FIVE STAR PET SERVICES LLC C/O CROWNE POINT INN 82 BRADFORD ST PROVINCETOWN, MA 02657	7-3-23-B-00A-R	83 SHANK PAINTER R T UNIT A JOHN S KELLEY TTEE 725 STATE HWY EASTHAM, MA 02642
7-3-23-B-00B-R	CHR 83 SPR LLC 83 SHANK PAINTER ROAD CONDO PO BOX 1015 PROVINCETOWN, MA 02657	7-3-23-C-001-R	81 SHANK PAINTER REALTY TR C/O HARVARD ASSOCIATES INC 3 FREEMAN ST PROVINCETOWN, MA 02657	7-3-23-C-002-R	MAYEUX PATRICK 20 CHESTNUT ST #601 CAMBRIDGE, MA 02139
7-3-23-C-003-R	BUDGIE NOMINEE TRUST DAVID C BEDARD TTEE 81 SHANK PAINTER RD PROVINCETOWN, MA 02657	7-3-23-C-004-R	BUDGIE NOMINEE TRUST DAVID C BEDARD TTEE 81 SHANK PAINTER RD PROVINCETOWN, MA 02657	7-3-24-0-R	QUAHOG REALTY TR MICHAEL S TROVATO TTEE PO BOX 486 PROVINCETOWN, MA 02657
7-4-70-0-E	TOWN OF PROVINCETOWN SCHOOL COMMITTEE 260 COMMERCIAL STREET PROVINCETOWN, MA 02657	7-4-77-A-R	FIVE STAR PET SERVICES LLC C/O CROWNE POINT INN 82 BRADFORD ST PROVINCETOWN, MA 02657	7-4-77-1-00E-R	TARVERS CHRISTINA 24 CAPT BERTIES WAY #E PROVINCETOWN, MA 02657
7-4-77-1-00F-R	R & R REALTY TR RONALD D BAKER TTEE 462 SUMMER ST DUXBURY, MA 02332	7-4-77-2-00G-R	MAHONEY JAMES ET AL RICHARD CADIER 7337 DONATELLO CT NAPLES, FL 34114	7-4-77-2-00H-R	BENVENUTI ROBERT J ET AL JEFFREY P LANGEVIN 19 BURROUGHS ST #1 JAMAICA PLAIN, MA 02130
7-4-77-3-00I-R	WHALEN BRIAN E 10 ASHLAND RD CRANSTON, RI 02921	7-4-77-3-00J-R	24 CAPTAIN BERTIES WAY LLC 5 AVERY RIDGE LN HAMPTON FALLS, NH 03844	7-4-77-4-00K-R	HATFIELD DONALD D ET VIR SAM J STIDHAM 24-UK CAPT BERTIES WY PROVINCETOWN, MA 02657
7-4-77-5-00L-R	THOMMEN DAVID K 450 LAKE AVE BRIDGEPORT, CT 06605	7-4-77-5-00M-R	MCKENZIE WILLIAM A ET AL PHILIP PARISEAU 781 LINCOLN ST FRANKLIN, MA 02038	7-4-77-6-00A-R	WASHINGTON JEANNE M 24 CAPT BERTIE'S WAY #A PROVINCETOWN, MA 02657
7-4-77-6-00B-R	LANE GLEN A 24 CAPT BERTIE'S WAY #B PROVINCETOWN, MA 02657	7-4-77-7-00C-R	HALMI CHRISTIAN T ET VIR CHARLES C DANIEL JR 24-UC CAPT BERTIES WY PROVINCETOWN, MA 02657	7-4-77-7-00D-R	FERREIRA HELENA I 24 CAPT BERTIE'S WAY #D PROVINCETOWN, MA 02657
7-4-77-8-00N-R	KEEGAN PEGGY 24-UN CAPT BERTIES WY PROVINCETOWN, MA 02657	7-4-77-9-00O-R	CHANNELL STEPHEN K ET AL WILLIAM J POIRIER 1504 LEWIS O GRAY DR SAUGUS, MA 01906	7-4-77-9-00P-R	ATHINEOS ELIZABETH S 95 BELLFLOWER RD BILLERICA, MA 01821

7-4-77-A-00Q-R	7-4-77-A-00U-R	7-4-77-B-00R-R
BEAUCHAMP CATHERINE ET AL J SCHLAUDER-LIN F H LIN 2709 E 8TH ST LONG BEACH, CA 90804	GOULD JEFFREY R 24-UU CAPT BERTIES WY PROVINCETOWN, MA 02657	GLENN WAMBOLT 2011 TR GLENN WAMBOLT TTEE 11 PINE LEDGE TERRACE NORTH ATTLEBORO, MA 02760
7-4-77-B-00S-R	8-1-4-0-R	8-1-4-A-R
ANTHONY R M GRASSO REV TR ET A JOHN A GARISTO REV TR 5208 CARMILFRA DRIVE SARASOTA, FL 34231	V S H REALTY INC TAX DEPT 165 FLANDERS ROAD WESTBOROUGH, MA 01581	PROVINCE LANDING LTD PARTNERS PO BOX 52427 ATLANTA, GA 30355
8-1-7-0-R	8-1-9-0-R	8-1-10-0-R
TD BANK NA 380 WELLINGTON ST TOWER B 12TH FLOOR LONDON ONTARIO, N6A 4S4 ONTARIO	KARN IAN B 1-B JEROME SMITH RD PROVINCETOWN, MA 02657	RODRIGUES PAUL L ET AL MATTHEW M TRENTO 1 PARK LN #1712 BOSTON, MA 02210
8-1-11-0-R	8-1-12-0-R	8-1-14-0-R
KENNEDY MARY P PO BOX 61 PROVINCETOWN, MA 02657	KACERGIS MICHAEL A ET UX KATHRYN KACERGIS 63 CAPT BERTIES WAY PROVINCETOWN, MA 02657	COSTA JAMES M P O BOX 574 SO ORLEANS, MA 02662
8-2-1-0-R	8-2-2-0-R	8-2-3-0-R
MENDES PAUL C ET UX VICTORIA MENDES 55 CAPT BERTIES WY PROVINCETOWN, MA 02657	MENDES PAUL C ET UX VICTORIA M MENDES 55 CAPT BERTIES WY PROVINCETOWN, MA 02657	KATHLEEN C MEADS FAM TR KATHLEEN C MEADS TTEE BOX 922 PROVINCETOWN, MA 02657
8-2-4-1-00A-R	8-2-4-1-00B-R	8-2-4-1-00C-R
33 CAPTAIN BERTIE'S CD KATHLEEN C MEADS P.O. BOX 922 PROVINCETOWN, MA 02657	33 CAPTAIN BERTIE'S CD KATHLEEN C MEADS PO BOX 922 PROVINCETOWN, MA 02657	33 CAPTAIN BERTIE'S WAY CD KATHLEEN C MEADS P.O. BOX 922 PROVINCETOWN, MA 02657
8-2-4-1-00D-R	8-2-5-0-R	8-2-6-0-R
33 CAPTAIN BERTIE'S CD KATHLEEN C MEADS P.O. BOX 922 PROVINCETOWN, MA 02657	MEDEIROS WESLEY ET AL FRANCIS & RITA MEDEIROS LIFE E 27 CAPT BERTIES WY PROVINCETOWN, MA 02657	MEDEIROS WESLEY F ET AL FRANCIS & RITA MEDEIROS LIFE E 27 CAPT BERTIES WY PROVINCETOWN, MA 02657
8-2-8-0-E	8-2-16-1-N01-R	8-2-16-1-N02-R
TOWN OF PROVINCETOWN WATER & SEWER BOARD 26 ALDEN ST PROVINCETOWN, MA 02657	SCHOLZ KAREN ET AL HEIDI BRIGHT 97 MOUNT VERNON WEST RD EAST WEYMOUTH, MA 02189	MELLO JEFFREY A 23-UN2 CAPT BERTIES WY PROVINCETOWN, MA 02657
8-2-16-2-M01-R	8-2-16-2-M02-R	8-2-19-B-E
ZAMBRELLO ROBERT J 252 GRACEY RD CANTON, CT 06019-2114	ATKIN BARRIE 255 BISHOPS FOREST DR WALTHAM, MA 02452-8804	TOWN OF PROVINCETOWN 260 COMMERCIAL ST PROVINCETOWN, MA 02657
8-2-19-G-E	8-2-19-H-R	8-2-28-0-R
TOWN OF PROVINCETOWN 260 COMMERCIAL ST PROVINCETOWN, MA 02657	MENDES PAUL C ET UX VICTORIA M MENDES 55 CAPT BERTIES WAY PROVINCETOWN, MA 02657	STUERMER KLAUS PETER PO BOX 10 PROVINCETOWN, MA 02657

8-2-30-0-R

KATHLEEN C MEADS FAM TR
KATHLEEN C MEADS TTEE
BOX 922
PROVINCETOWN, MA 02657

8-2-31-0-R

KATHLEEN C MEADS FAM TR
KATHLEEN C MEADS TTEE
BOX 922
PROVINCETOWN, MA 02657

8-2-32-0-R

KATHLEEN C MEADS FAM TR
KATHLEEN C MEADS TTEE
BOX 922
PROVINCETOWN, MA 02657

8-2-37--00A-R

MARTINEZ MARY B
C/O ARTHUR MARTINEZ
PO BOX 455
N TRURO, MA 02652

8-2-37--00B-R

HURST MAUREEN
PO BOX 1837
PROVINCETOWN, MA 02657

8-2-38--00A-R

TUCKER DIANE M
12 KIMBALL RD #1
WATERTOWN, MA 02472

8-2-38--00B-R

SPURGAS EDWIN R JR ET AL
MICHAEL MCCORMICK
49 KENELM DR
MARSHFIELD, MA 02050

8-2-39--00A-R

FAIDELL BRIAN R ET AL
CARMEN L VETERE
14 I STREET APT#2
BOSTON, MA 02127

8-2-39--00B-R

LALLY THOMAS L ET AL
DAVID L LAPLANTE
327 FINCH RD
RAYNHAM, MA 02767

Carol Bergen

From: Carol Bergen
Sent: Thursday, May 10, 2018 1:44 PM
To: Ellen Battaglini
Subject: Abutters List 44-capt-berties-way-zba-05-10-2018
Attachments: 44 capt-berties-way--zba-05-10-2018.xls

Ellen,
Attached is a request for an Abutters list for 44-capt-berties-way-zba-05-10-2018.

Thank you,

Carol Bergen

Carol Bergen
Assistant Assessor
cbergen@provincetown-ma.gov
508-487-7000 ext 518

Carol Bergen

From: Annie Nagle <an@novus-grp.com>
Sent: Thursday, May 10, 2018 1:03 PM
To: Carol Bergen
Cc: Becca Rutenberg
Subject: Abutter List Request
Attachments: 44 Captain Berties Way Abutter List Request.pdf

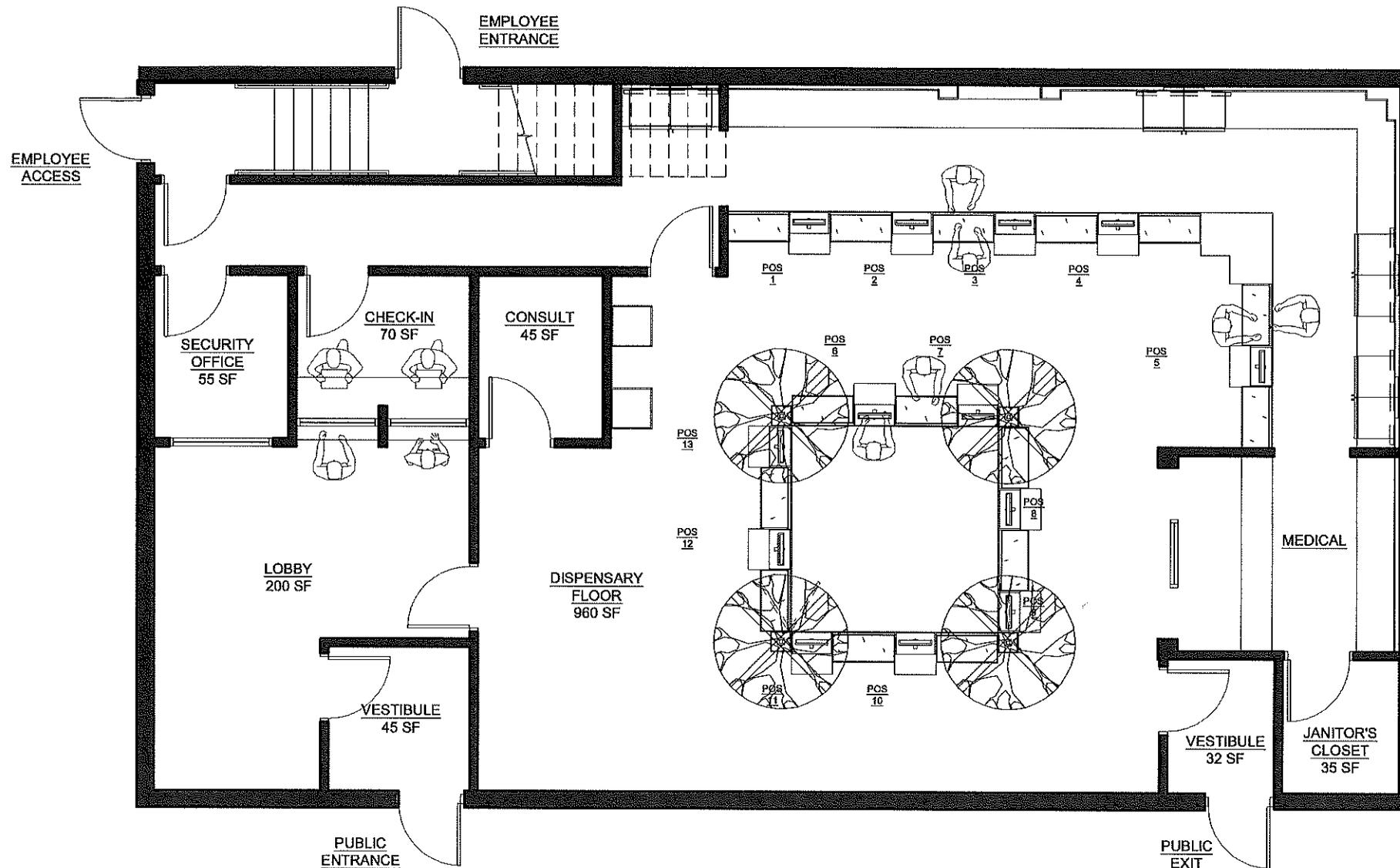
Hi, Carol.

Thank you for taking the time to speak with me today. I have attached the form for the abutters list request on behalf of Becca Rutenberg. As I mentioned on the phone, instead of mailing labels, we would like three copies of the list. We will be in Provincetown on Monday to pick up the list and will bring a check for \$25 at that time. Please don't hesitate to contact me if you need anything additional from me.

Thanks,
Annie

--

Annie Nagle
Novus Group
617-391-0065
405-590-8929 (c)

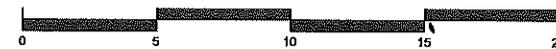


RECEIVED
 MAY 15 2018
 TOWN CLERK

ADA COMPLIANCE:
 ELEVATOR NOT REQUIRED
 - LESS THAN 3 STORIES
 - LESS THAN 3,000 S.F. PER FLOOR

 MAAB COMPLIANCE:
 PUBLIC ACCESS AREAS WILL COMPLY
 WITH THE PROVISIONS OF 621 CMR

FIRST FLOOR PLAN
 GROSS AREA: 2,232 SF



Provincetown Dispensary
 44 Captain Bertie's Way, Provincetown, MA 02657

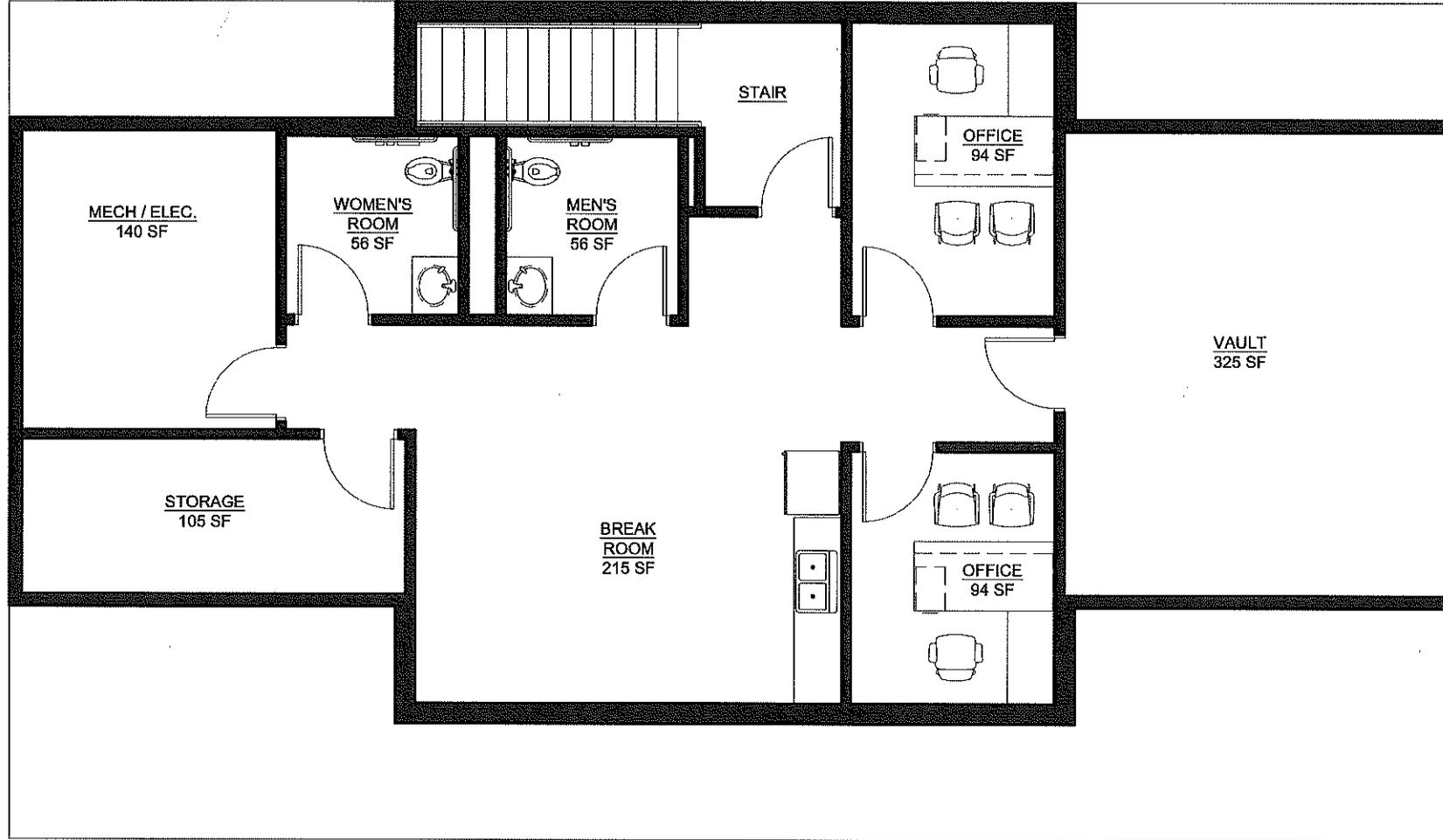
Verdant Medical, Inc.
 Drawn by: --- BKA # ---

A-1
 Date: 05/14/18



BJA
 ARCHITECTS

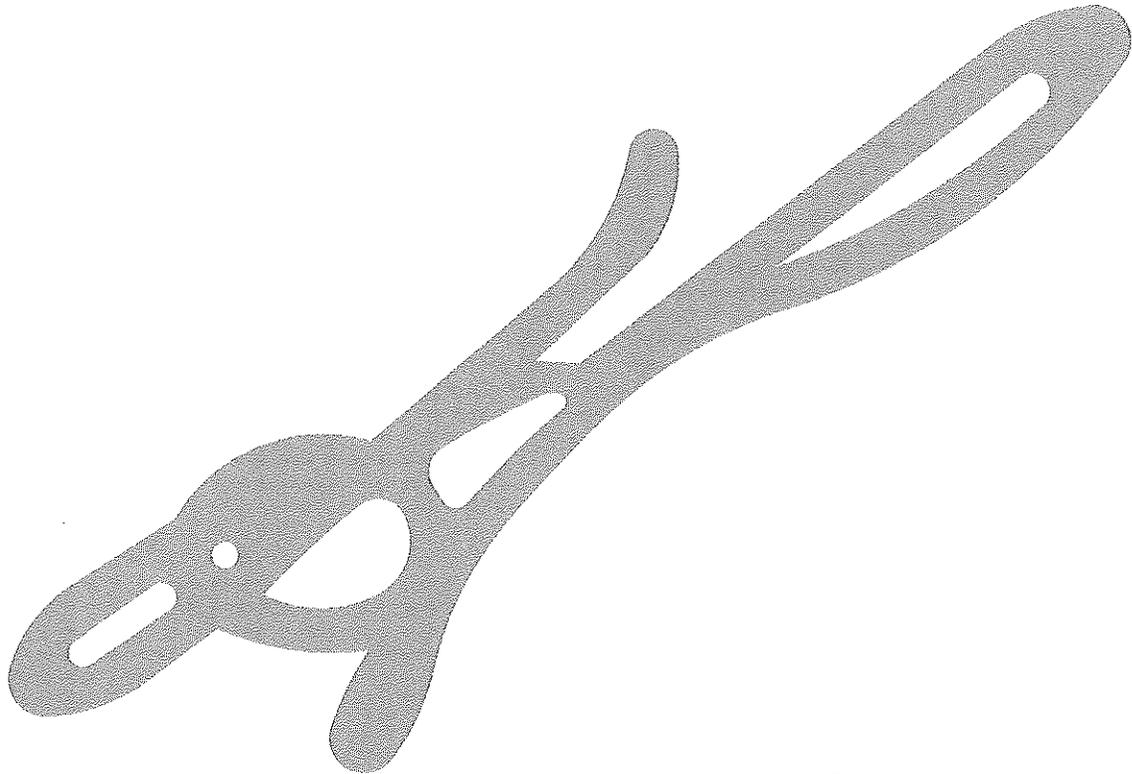
Boston + Brockton
 142 Crescent Street
 Brockton, MA 02302
 508.583.5603
 bkaarchitects.com



SECOND FLOOR PLAN
GROSS AREA: 1,594 SF



Storm Water Management Report



Proposed RMD
44 Captain Bertie's Way
Provincetown, Massachusetts

May 11, 2018

Storm Water Management Report
44 Captain Bertie's Way – Provincetown, MA
May 11, 2017



List of Appendices

- Appendix A: NRCS Soil Mapping and Data
- Appendix B: Drainage Calculations

Accompanying Plans

- Sheet 1: Existing Conditions Watershed Map
- Sheet 2: Proposed Conditions Watershed Map



Introduction and Background

The Project Site (the "Site") is located along the southerly side of Captain Bertie's Way, immediately west of the intersection of Captain Bertie's Way and George's Path. The Site, in its existing condition consists of a developed yard with an automotive garage and gravel parking, driveways and maneuvering areas. Soils within the Site are representative of Hydrologic Soil Group A (refer to Appendix A – NRCS Soil Map). The Applicant seeks to construct a 2,400 sf. Registered Marijuana Dispensary (RMD) sub-surface sanitary disposal system, site access, driveways and parking.

This report evaluates the hydrologic impacts of the proposed improvements as related to surficial rate of runoff for the proposed project.

Methodology

This study evaluates the Site hydrology in accordance with the National Resource Conservation Service (NRCS), formerly the Soil Conservation Service (SCS), methodology outlined in Technical Release 55 and Technical Release 20. Modelling was performed using HydroCAD™ software and model parameters based on pre- and post-development hydrologic soil group, land cover conditions, and topography.

Analysis:

Two (2) Design Points were selected for analysis of the project:

1. Design Point 1: Flow to the Captain Bertie's right-of-way to the north;
2. Design Point 2: Overland flow to the south of the property.

Peak rate of runoff was evaluated at each of these Design Points in both the existing and proposed conditions using the cumulative rainfall depths for the 2, 10, and 100-year, Type III, 24-hour storm events as identified by the National Weather Service in Technical Paper 40 (TP40). Peak flow attenuation in the proposed condition is provided by a proposed subsurface infiltration system (PSIS) designed to exfiltrate stormwater using the well-drained soils on the site. Treatment for suspended solid removal is achieved by a StormCeptor STC-450i water quality inlet prior to discharge to the PSIS.

The following table summarizes the calculated peak rate of runoff to the Design Points for the project in the existing and proposed conditions:

Design Point	2-Year Storm Event (3.6"/24-hr.)		10-Year Storm Event (4.9"/24-hr.)		100-Year Storm Event (7.2"/24-hr.)	
	Existing (cfs)	Proposed (cfs)	Existing (cfs)	Proposed (cfs)	Existing (cfs)	Proposed (cfs)
DP1	0.3	0.0	0.5	0.0	0.7	0.1
DP2	1.0	0.0	1.6	0.0	2.7	0.1

The project as designed will not increase rate of runoff to downstream design points as compared to the existing conditions.



Operations and Maintenance:

The management plan incorporates a combination of the following chain of structural best management practices to improve water quality of the stormwater runoff from the proposed roadway and other impervious surfaces, and control runoff to downgradient areas.

1. STC 450i Stormceptor Chamber
2. Subsurface Infiltration Chambers

These stormwater management facilities have unique characteristics, uses, planning considerations and maintenance requirements. The maintenance requirements, as suggested by the DEP in "Volume 2, Chapter 2: Structural BMP Specifications for the Massachusetts Stormwater Handbook", and the suggested schedules are summarized in the following sections. It is suggested that the following guidelines be adhered to following completion of the project and then adjusted, as necessary, based on the results of the required inspections and based on evidence of maintenance history.

Subsurface Infiltration Chambers

Recharge systems are prone to failure due to clogging. Adherence to this aggressive maintenance plan and schedule preserves effectiveness of the system.

- The subsurface system will be inspected after every major storm for the first few months after construction to ensure that proper function has been achieved. Thereafter, the area will be inspected at least four times a year. Water levels in the chambers should be recorded over several days to check drainage.
- The inspection ports for the recharger system will be inspected after every major storm and the collected debris removed.
- Any required cleaning or other action will be documented and completed within seven business days.
- Pondered water inside the chambers (as visible from the inspection ports) after 24 hours or several days most likely indicates that the bottoms of the pipes are clogged.
- The inspection, cleaning and maintenance responsibility for the site drainage system shall belong to the owner.
- If inspection indicates that replacement or major repair is required, a work plan will be submitted within 7 days to the Engineering Division for review and repair.

Stormceptor STC 450i Water Quality Chambers

Regulating the sediment and petroleum product input to the proposed water quality system is the priority maintenance activity. Sediments and any oil spillage should be trapped and removed before they reach the chambers.

- Stormceptor chamber maintenance shall be performed on a regular basis as recommended by the manufacturer (described in the attached O & M specifications from the Stormceptor Maintenance Brochure obtained from the Stormceptor website (www.stormceptor.com) and as summarized herein. All inspections and all necessary

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44 Captain Bertie's Way – Provincetown, MA
May 11, 2017



- sediment cleaning repair actions shall be documented in a maintenance log kept by the property owner.
- Conduct initial inspection after construction. Remove any debris, sediments and/or pollutants accumulations as necessary using a vacuum truck.
 - Inspect every six (6) months the first year of operation. Remove any debris, sediments or pollutants as needed.
 - Inspect at least annually thereafter (frequency of inspection to be adjusted based on observed accumulation rates). The units are designed to accept 15% of their capacity in solids annually based on maximum drainage area loading. Removal of sediment, oils and grease from the system will depend on rates of accumulation.
 - Inspect after oil, fuel or chemical spill to detect any intrusion of such materials into the chambers.
 - Sediment removal is recommended annually, but is likely to vary widely based on site conditions and loadings. Typical maintenance cleaning can be done with a vacuum truck. Inspection for each of the Stormceptor units will include a quantification of the sediment load and oil and grease volumes. This is easily made from the surface with a tube dipstick with ball valve inserted through the cleanout pipe or other access port. Depths of sediment indicating maintenance are presented in the following table for the various models. Inspection of the internal structure should be part of the routine inspection plan. All sediment and oil waste materials shall be disposed of in accordance with all Federal, State and Local regulations.

*REQUIRED MAINTENANCE **

<u>Model</u>	<u>Sediment Depth (in.)</u>
STC 450i	*8

* based on 15% of the interceptor's sediment storage.

Erosion and Sedimentation Controls

An erosion and sedimentation control program will be implemented to protect resource areas from sedimentation due to the proposed construction activities. Work and stockpile areas are to be protected by an erosion control barrier prior to construction and erosion controls shall remain in place until all disturbed areas are stabilized. Erosion and sedimentation controls proposed for the Project include the following:



Structural Practices

Structural erosion and sedimentation controls on the site include barriers, catch basin inlet protection, and stabilized construction entrances.

Erosion Control Barriers

Prior to any construction activities on the site, a barrier of staked straw wattles ("swattle") shall be installed in accordance with the accompanying plans. As construction progresses, additional rows of swattle shall be installed around the base of stockpiles and other erosion prone areas.

Swattle installation should be inspected weekly, at a minimum, during construction activities and after significant rainfall events. If sediment has accumulated to a depth impairing the proper function of the swattle barrier, it will be removed and reused on-site or disposed of at a suitable offsite location. Any damaged section of swattle shall be repaired or replaced immediately upon discovery.

Catch Basin Inlet Protection

All existing and proposed catch basins on-site and adjacent to the project, at those locations specified on the accompanying plan(s), shall be fitted with Siltsack®, or equivalent, catch basin filters. Catch basin filters should be inspected weekly, at a minimum, during construction activities and after significant rainfall events. If sediment has accumulated to a depth impairing the proper function of the filter, the sediment will be removed and reused on-site or disposed of at a suitable offsite location. Any damaged catch basin filters shall be repaired or replaced immediately upon discovery.

Stabilized Construction Entrance

A stabilized construction entrance shall be at the access point for all construction vehicles from Captain Bertie's Way. The construction entrance shall consist of 1-½-inch crushed stone placed 12-inches deep. The construction entrance should be a minimum of 25-feet in width and 50-feet in length. The entrance should be maintained in a condition that will prevent tracking or flowing of sediment onto public rights-of-way. This may require the periodic topdressing with additional stone. The entrance should be inspected weekly and after significant rainfall events. Any mud or sediment tracked onto adjacent roadways should be removed immediately.

Non-structural Practices

Non-structural best management practices to be used during construction include pavement sweeping, dust control, temporary stabilization and temporary seeding. These practices should be applied as applicable during construction activities.



Pavement Sweeping

On-site driveways, parking areas and adjacent roadways should be swept as necessary during construction activities. Sweeping may be done by hand or mechanically.

Dust Control

Dust control should be provided by soil wetting only, the use of calcium chloride or other chemical means of dust prevention shall not be used on the Project. When necessary, exposed surfaces should be wetted to prevent wind-borne transport of sediment (dust). Water should be applied in a volume equivalent to ½-inch over the exposed areas. The water should be applied in a manner that minimizes erosion, such as a mechanical sprayer mounted to a water truck.

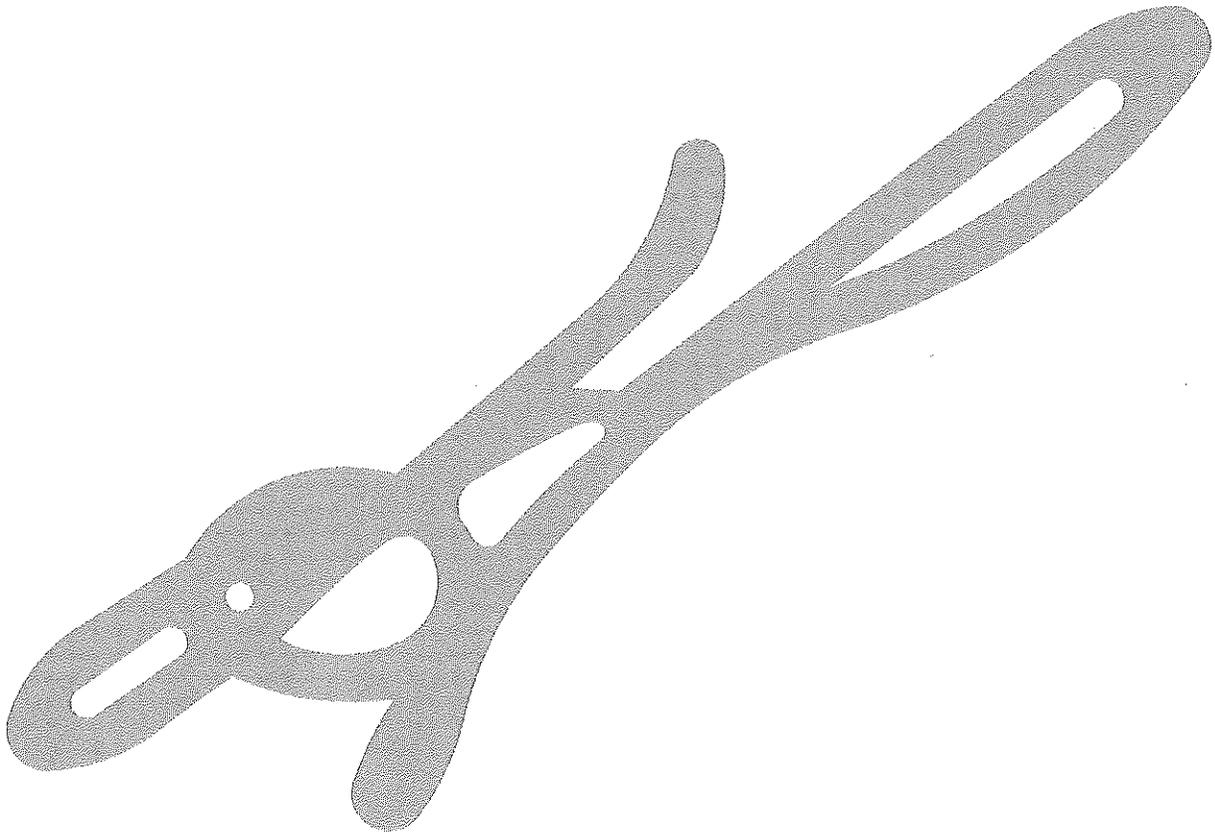
Temporary Stabilization

Any areas of exposed soil or soil stockpiles that will remain inactive for more than 14-days shall be covered with a layer of straw mulch applied at a rate of 90 pounds per 1,000 sf. The mulch should be anchored with a tacking coat, applied by hydro seeder. Steep slopes (greater than 15%) should be covered with fiber mats and anchored with photodegradable staples at a density in accordance with the manufacturer's specifications.

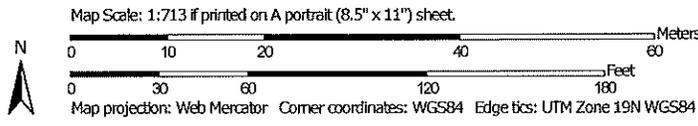
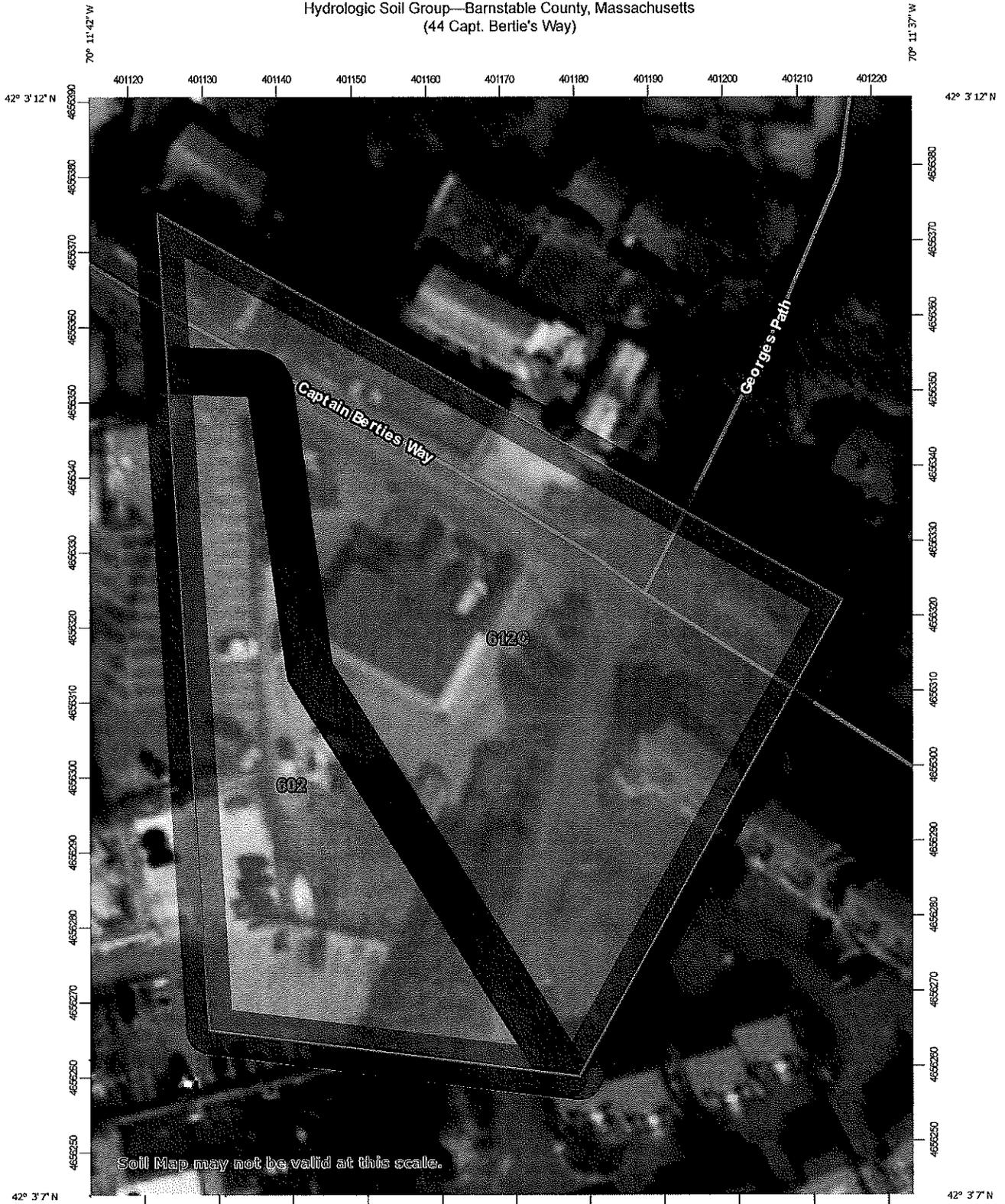
Temporary Seeding

If conditions allow, temporary vegetative cover should be established on areas of exposed soil (including soil stockpiles) that remain inactive for more than 60-days. The seed mixture should be applied by a hydroseeder with a tacking coat and should include a mixture of rapid germinating grasses that are indigenous to New England.

APPENDIX A:
NRCS Soil Mapping and Data



Hydrologic Soil Group—Barnstable County, Massachusetts
(44 Capt. Bertie's Way)



MAP LEGEND

Area of Interest (AOI)		Area of Interest (AOI)		C
Soils		Area of Interest (AOI)		C/D
Soil Rating Polygons		Soils		D
A		Soil Rating Polygons		Not rated or not available
A/D		Water Features		Streams and Canals
B		Transportation		Rails
B/D		+++		Interstate Highways
C				US Routes
C/D				Major Roads
D				Local Roads
Not rated or not available		Background		Aerial Photography
Soil Rating Lines		Soil Rating Points		A
A		A		A/D
A/D		B		B
B		B/D		B/D
B/D		C		
C		C/D		
C/D		D		
D		Not rated or not available		

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Barnstable County, Massachusetts
Survey Area Data: Version 14, Oct 6, 2017

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Mar 22, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
602	Urban land		0.5	33.5%
612C	Hooksan sand, 3 to 15 percent slopes	A	1.1	66.5%
Totals for Area of Interest			1.6	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

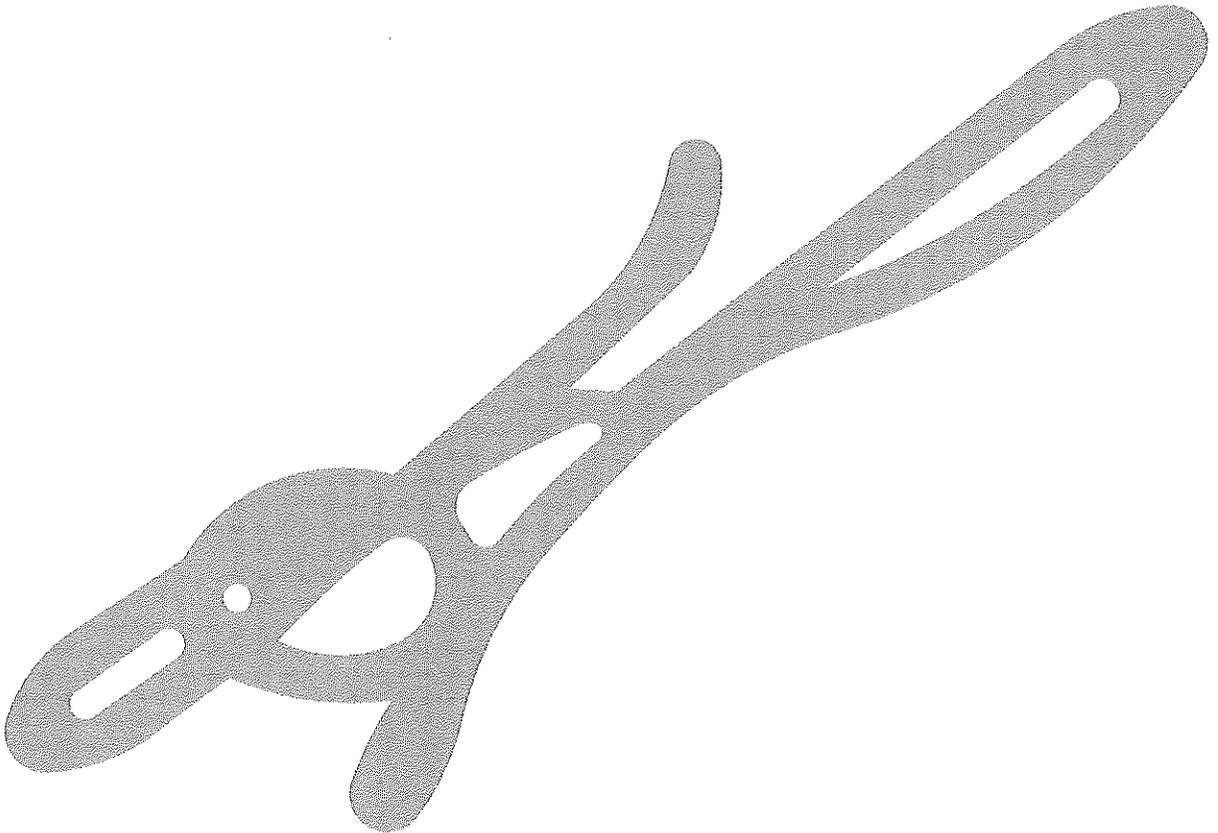
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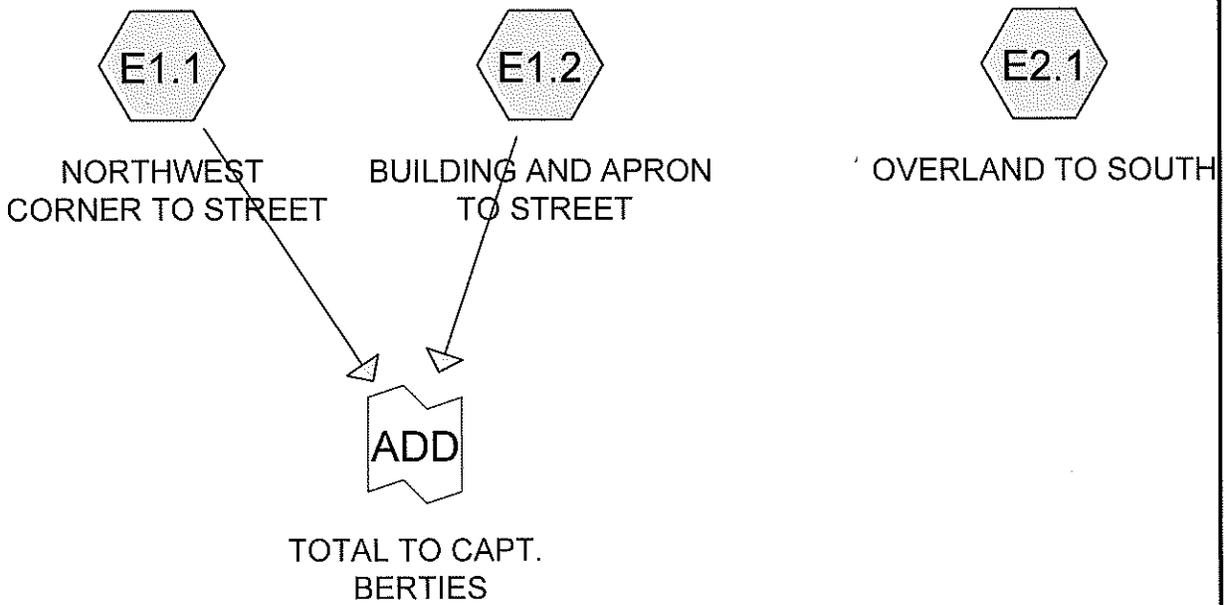
Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

APPENDIX B:
Calculations





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Area Listing (all nodes)

Area (sq-ft)	CN	Description (subcatchment-numbers)
4,476	68	<50% Grass cover, Poor, HSG A (E1.1, E2.1)
8,163	77	Fallow, bare soil, HSG A (E2.1)
9,608	96	Gravel surface, HSG A (E1.2, E2.1)
2,257	98	Roofs, HSG A (E1.2)
24,504	85	TOTAL AREA

Summary for Subcatchment E1.1: NORTHWEST CORNER TO STREET

Runoff = 0.01 cfs @ 12.10 hrs, Volume= 46 cf, Depth= 0.96"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 2 Year Rainfall=3.60"

Area (sf)	CN	Description
573	68	<50% Grass cover, Poor, HSG A
573		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, MIN Tc = 0.1h

Summary for Subcatchment E1.2: BUILDING AND APRON TO STREET

Runoff = 0.32 cfs @ 12.09 hrs, Volume= 1,123 cf, Depth= 3.25"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 2 Year Rainfall=3.60"

Area (sf)	CN	Description
2,257	98	Roofs, HSG A
1,885	96	Gravel surface, HSG A
4,142	97	Weighted Average
1,885		45.51% Pervious Area
2,257		54.49% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, MIN Tc = 0.1h

Summary for Subcatchment E2.1: OVERLAND TO SOUTH

Runoff = 1.01 cfs @ 12.09 hrs, Volume= 3,204 cf, Depth= 1.94"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 2 Year Rainfall=3.60"

Area (sf)	CN	Description
7,723	96	Gravel surface, HSG A
8,163	77	Fallow, bare soil, HSG A
3,903	68	<50% Grass cover, Poor, HSG A
19,789	83	Weighted Average
19,789		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, MIN Tc = 0.1h

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44 Capt. Bertie's Existing Condition
Type III 24-hr 2 Year Rainfall=3.60"

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Summary for Link ADD: TOTAL TO CAPT. BERTIES

Inflow Area = 4,715 sf, 47.87% Impervious, Inflow Depth = 2.97" for 2 Year event
Inflow = 0.33 cfs @ 12.09 hrs, Volume= 1,169 cf
Primary = 0.33 cfs @ 12.09 hrs, Volume= 1,169 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs

Summary for Subcatchment E1.1: NORTHWEST CORNER TO STREET

Runoff = 0.03 cfs @ 12.10 hrs, Volume= 86 cf, Depth= 1.81"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 Year Rainfall=4.90"

Area (sf)	CN	Description
573	68	<50% Grass cover, Poor, HSG A
573		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, MIN Tc = 0.1h

Summary for Subcatchment E1.2: BUILDING AND APRON TO STREET

Runoff = 0.44 cfs @ 12.09 hrs, Volume= 1,570 cf, Depth= 4.55"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 Year Rainfall=4.90"

Area (sf)	CN	Description
2,257	98	Roofs, HSG A
1,885	96	Gravel surface, HSG A
4,142	97	Weighted Average
1,885		45.51% Pervious Area
2,257		54.49% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, MIN Tc = 0.1h

Summary for Subcatchment E2.1: OVERLAND TO SOUTH

Runoff = 1.60 cfs @ 12.09 hrs, Volume= 5,085 cf, Depth= 3.08"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 Year Rainfall=4.90"

Area (sf)	CN	Description
7,723	96	Gravel surface, HSG A
8,163	77	Fallow, bare soil, HSG A
3,903	68	<50% Grass cover, Poor, HSG A
19,789	83	Weighted Average
19,789		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, MIN Tc = 0.1h

Summary for Link ADD: TOTAL TO CAPT. BERTIES

Inflow Area = 4,715 sf, 47.87% Impervious, Inflow Depth = 4.21" for 10 Year event
Inflow = 0.47 cfs @ 12.09 hrs, Volume= 1,656 cf
Primary = 0.47 cfs @ 12.09 hrs, Volume= 1,656 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs

Summary for Subcatchment E1.1: NORTHWEST CORNER TO STREET

Runoff = 0.05 cfs @ 12.09 hrs, Volume= 171 cf, Depth= 3.57"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 100 Year Rainfall=7.20"

Area (sf)	CN	Description
573	68	<50% Grass cover, Poor, HSG A
573		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, MIN Tc = 0.1h

Summary for Subcatchment E1.2: BUILDING AND APRON TO STREET

Runoff = 0.65 cfs @ 12.09 hrs, Volume= 2,362 cf, Depth= 6.84"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 100 Year Rainfall=7.20"

Area (sf)	CN	Description
2,257	98	Roofs, HSG A
1,885	96	Gravel surface, HSG A
4,142	97	Weighted Average
1,885		45.51% Pervious Area
2,257		54.49% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, MIN Tc = 0.1h

Summary for Subcatchment E2.1: OVERLAND TO SOUTH

Runoff = 2.66 cfs @ 12.09 hrs, Volume= 8,603 cf, Depth= 5.22"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 100 Year Rainfall=7.20"

Area (sf)	CN	Description
7,723	96	Gravel surface, HSG A
8,163	77	Fallow, bare soil, HSG A
3,903	68	<50% Grass cover, Poor, HSG A
19,789	83	Weighted Average
19,789		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, MIN Tc = 0.1h

Summary for Link ADD: TOTAL TO CAPT. BERTIES

Inflow Area = 4,715 sf, 47.87% Impervious, Inflow Depth = 6.44" for 100 Year event
Inflow = 0.71 cfs @ 12.09 hrs, Volume= 2,532 cf
Primary = 0.71 cfs @ 12.09 hrs, Volume= 2,532 cf, Atten= 0%, Lag= 0.0 min.

Primary outflow = Inflow, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs



TO CAPT. BERTIE'S



TO PSIS



SUBSURFACE
INFILTRATION



OVERLAND TO SOUTH



TOTAL TO SOUTH



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Area Listing (all nodes)

Area (sq-ft)	CN	Description (subcatchment-numbers)
13,148	39	>75% Grass cover, Good, HSG A (P1.1, P2.1, P2.2)
168	96	Gravel surface, HSG A (P1.1)
8,087	98	Paved parking, HSG A (P2.1)
2,260	98	Roofs, HSG A (P2.1)

Summary for Subcatchment P1.1: TO CAPT. BERTIE'S

Runoff = 0.00 cfs @ 15.40 hrs, Volume= 12 cf, Depth= 0.05"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 2 Year Rainfall=3.60"

Area (sf)	CN	Description
2,779	39	>75% Grass cover, Good, HSG A
168	96	Gravel surface, HSG A
2,947	42	Weighted Average
2,947		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.4	26	0.1000	0.18		Sheet Flow, Sheet Flow Grass: Dense n= 0.240 P2= 3.60"
3.9	24	0.0260	0.10		Sheet Flow, Sheet Flow Grass: Dense n= 0.240 P2= 3.60"
0.3	41	0.0260	2.60		Shallow Concentrated Flow, Shallow 1 Unpaved Kv= 16.1 fps
6.6	91	Total			

Summary for Subcatchment P2.1: TO PSIS

Runoff = 0.72 cfs @ 12.09 hrs, Volume= 2,259 cf, Depth= 1.94"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 2 Year Rainfall=3.60"

Area (sf)	CN	Description
8,087	98	Paved parking, HSG A
2,260	98	Roofs, HSG A
3,606	39	>75% Grass cover, Good, HSG A
13,953	83	Weighted Average
3,606		25.84% Pervious Area
10,347		74.16% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.5	50	0.0500	1.83		Sheet Flow, Sheet Flow Smooth surfaces n= 0.011 P2= 3.60"
0.1	34	0.0500	4.54		Shallow Concentrated Flow, Shallow 1 Paved Kv= 20.3 fps
0.2	33	0.0310	3.57		Shallow Concentrated Flow, Shallow 2 Paved Kv= 20.3 fps
0.1	28	0.0450	4.31		Shallow Concentrated Flow, Shallow 3 Paved Kv= 20.3 fps
0.1	13	0.0200	2.87		Shallow Concentrated Flow, Shallow 4 Paved Kv= 20.3 fps
5.0					Direct Entry,
6.0	158	Total			

Summary for Subcatchment P2.2: OVERLAND TO SOUTH

Runoff = 0.00 cfs @ 21.72 hrs, Volume= 8 cf, Depth= 0.01"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 2 Year Rainfall=3.60"

Area (sf)	CN	Description
6,763	39	>75% Grass cover, Good, HSG A
6,763		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.4	26	0.1000	0.18		Sheet Flow, Sheet 1 Grass: Dense n= 0.240 P2= 3.60"
4.6	24	0.0170	0.09		Sheet Flow, Sheet 2 Grass: Dense n= 0.240 P2= 3.60"
0.3	34	0.0170	2.10		Shallow Concentrated Flow, Shallow 1 Unpaved Kv= 16.1 fps
7.3	84	Total			

Summary for Pond PSIS: SUBSURFACE INFILTRATION

Inflow Area = 13,953 sf, 74.16% Impervious, Inflow Depth = 1.94" for 2 Year event
 Inflow = 0.72 cfs @ 12.09 hrs, Volume= 2,259 cf
 Outflow = 0.16 cfs @ 12.52 hrs, Volume= 2,260 cf, Atten= 78%, Lag= 25.8 min
 Discarded = 0.16 cfs @ 12.52 hrs, Volume= 2,260 cf

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs / 2
 Peak Elev= 22.43' @ 12.52 hrs Surf.Area= 686 sf Storage= 563 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 21.6 min (849.0 - 827.5)

Volume	Invert	Avail.Storage	Storage Description
#1A	21.00'	1,255 cf	19.42'W x 35.31'L x 6.75'H Field A 4,628 cf Overall - 1,491 cf Embedded = 3,137 cf x 40.0% Voids
#2A	21.75'	1,491 cf	StormTech MC-4500 x 14 Inside #1 Effective Size= 90.4"W x 60.0"H => 26.46 sf x 4.03'L = 106.5 cf Overall Size= 100.0"W x 60.0"H x 4.33'L with 0.31' Overlap 2 Rows of 7 Chambers
		2,746 cf	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	21.00'	8.140 in/hr Exfiltration over Wetted area

Discarded OutFlow Max=0.16 cfs @ 12.52 hrs HW=22.43' (Free Discharge)
 ←1=Exfiltration (Exfiltration Controls 0.16 cfs)

Summary for Link ADD: TOTAL TO SOUTH

Inflow Area = 20,716 sf, 49.95% Impervious, Inflow Depth = 0.00" for 2 Year event
Inflow = 0.00 cfs @ 21.72 hrs, Volume= 8 cf
Primary = 0.00 cfs @ 21.72 hrs, Volume= 8 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs

Summary for Subcatchment P1.1: TO CAPT. BERTIE'S

Runoff = 0.01 cfs @ 12.40 hrs, Volume= 70 cf, Depth= 0.29"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 Year Rainfall=4.90"

Area (sf)	CN	Description
2,779	39	>75% Grass cover, Good, HSG A
168	96	Gravel surface, HSG A
2,947	42	Weighted Average
2,947		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.4	26	0.1000	0.18		Sheet Flow, Sheet Flow Grass: Dense n= 0.240 P2= 3.60"
3.9	24	0.0260	0.10		Sheet Flow, Sheet Flow Grass: Dense n= 0.240 P2= 3.60"
0.3	41	0.0260	2.60		Shallow Concentrated Flow, Shallow 1 Unpaved Kv= 16.1 fps
6.6	91	Total			

Summary for Subcatchment P2.1: TO PSIS

Runoff = 1.13 cfs @ 12.09 hrs, Volume= 3,586 cf, Depth= 3.08"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 Year Rainfall=4.90"

Area (sf)	CN	Description
8,087	98	Paved parking, HSG A
2,260	98	Roofs, HSG A
3,606	39	>75% Grass cover, Good, HSG A
13,953	83	Weighted Average
3,606		25.84% Pervious Area
10,347		74.16% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.5	50	0.0500	1.83		Sheet Flow, Sheet Flow Smooth surfaces n= 0.011 P2= 3.60"
0.1	34	0.0500	4.54		Shallow Concentrated Flow, Shallow 1 Paved Kv= 20.3 fps
0.2	33	0.0310	3.57		Shallow Concentrated Flow, Shallow 2 Paved Kv= 20.3 fps
0.1	28	0.0450	4.31		Shallow Concentrated Flow, Shallow 3 Paved Kv= 20.3 fps
0.1	13	0.0200	2.87		Shallow Concentrated Flow, Shallow 4 Paved Kv= 20.3 fps
5.0					Direct Entry,
6.0	158	Total			

Summary for Subcatchment P2.2: OVERLAND TO SOUTH

Runoff = 0.00 cfs @ 12.52 hrs, Volume= 102 cf, Depth= 0.18"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 Year Rainfall=4.90"

Area (sf)	CN	Description
6,763	39	>75% Grass cover, Good, HSG A
6,763		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.4	26	0.1000	0.18		Sheet Flow, Sheet 1 Grass: Dense n= 0.240 P2= 3.60"
4.6	24	0.0170	0.09		Sheet Flow, Sheet 2 Grass: Dense n= 0.240 P2= 3.60"
0.3	34	0.0170	2.10		Shallow Concentrated Flow, Shallow 1 Unpaved Kv= 16.1 fps
7.3	84	Total			

Summary for Pond PSIS: SUBSURFACE INFILTRATION

Inflow Area = 13,953 sf, 74.16% Impervious, Inflow Depth = 3.08" for 10 Year event
 Inflow = 1.13 cfs @ 12.09 hrs, Volume= 3,586 cf
 Outflow = 0.18 cfs @ 12.59 hrs, Volume= 3,586 cf, Atten= 84%, Lag= 30.1 min
 Discarded = 0.18 cfs @ 12.59 hrs, Volume= 3,586 cf

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs / 2
 Peak Elev= 23.52' @ 12.59 hrs Surf.Area= 686 sf Storage= 1,121 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 45.1 min (859.4 - 814.3)

Volume	Invert	Avail.Storage	Storage Description
#1A	21.00'	1,255 cf	19.42'W x 35.31'L x 6.75'H Field A 4,628 cf Overall - 1,491 cf Embedded = 3,137 cf x 40.0% Voids
#2A	21.75'	1,491 cf	StormTech MC-4500 x 14 Inside #1 Effective Size= 90.4"W x 60.0"H => 26.46 sf x 4.03'L = 106.5 cf Overall Size= 100.0"W x 60.0"H x 4.33'L with 0.31' Overlap 2 Rows of 7 Chambers
		2,746 cf	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	21.00'	8.140 in/hr Exfiltration over Wetted area

Discarded OutFlow Max=0.18 cfs @ 12.59 hrs HW=23.52' (Free Discharge)
 ←1=Exfiltration (Exfiltration Controls 0.18 cfs)

Summary for Link ADD: TOTAL TO SOUTH

Inflow Area = 20,716 sf, 49.95% Impervious, Inflow Depth = 0.06" for 10 Year event
Inflow = 0.00 cfs @ 12.52 hrs, Volume= 102 cf
Primary = 0.00 cfs @ 12.52 hrs, Volume= 102 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs

Summary for Subcatchment P1.1: TO CAPT. BERTIE'S

Runoff = 0.05 cfs @ 12.14 hrs, Volume= 265 cf, Depth= 1.08"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 100 Year Rainfall=7.20"

Area (sf)	CN	Description
2,779	39	>75% Grass cover, Good, HSG A
168	96	Gravel surface, HSG A
2,947	42	Weighted Average
2,947		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.4	26	0.1000	0.18		Sheet Flow, Sheet Flow Grass: Dense n= 0.240 P2= 3.60"
3.9	24	0.0260	0.10		Sheet Flow, Sheet Flow Grass: Dense n= 0.240 P2= 3.60"
0.3	41	0.0260	2.60		Shallow Concentrated Flow, Shallow 1 Unpaved Kv= 16.1 fps
6.6	91	Total			

Summary for Subcatchment P2.1: TO PSIS

Runoff = 1.88 cfs @ 12.09 hrs, Volume= 6,066 cf, Depth= 5.22"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 100 Year Rainfall=7.20"

Area (sf)	CN	Description
8,087	98	Paved parking, HSG A
2,260	98	Roofs, HSG A
3,606	39	>75% Grass cover, Good, HSG A
13,953	83	Weighted Average
3,606		25.84% Pervious Area
10,347		74.16% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.5	50	0.0500	1.83		Sheet Flow, Sheet Flow Smooth surfaces n= 0.011 P2= 3.60"
0.1	34	0.0500	4.54		Shallow Concentrated Flow, Shallow 1 Paved Kv= 20.3 fps
0.2	33	0.0310	3.57		Shallow Concentrated Flow, Shallow 2 Paved Kv= 20.3 fps
0.1	28	0.0450	4.31		Shallow Concentrated Flow, Shallow 3 Paved Kv= 20.3 fps
0.1	13	0.0200	2.87		Shallow Concentrated Flow, Shallow 4 Paved Kv= 20.3 fps
5.0					Direct Entry,
6.0	158	Total			

Summary for Subcatchment P2.2: OVERLAND TO SOUTH

Runoff = 0.08 cfs @ 12.17 hrs, Volume= 474 cf, Depth= 0.84"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Type III 24-hr 100 Year Rainfall=7.20"

Area (sf)	CN	Description
6,763	39	>75% Grass cover, Good, HSG A
6,763		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.4	26	0.1000	0.18		Sheet Flow, Sheet 1 Grass: Dense n= 0.240 P2= 3.60"
4.6	24	0.0170	0.09		Sheet Flow, Sheet 2 Grass: Dense n= 0.240 P2= 3.60"
0.3	34	0.0170	2.10		Shallow Concentrated Flow, Shallow 1 Unpaved Kv= 16.1 fps
7.3	84	Total			

Summary for Pond PSIS: SUBSURFACE INFILTRATION

Inflow Area = 13,953 sf, 74.16% Impervious, Inflow Depth = 5.22" for 100 Year event
 Inflow = 1.88 cfs @ 12.09 hrs, Volume= 6,066 cf
 Outflow = 0.23 cfs @ 12.71 hrs, Volume= 6,067 cf, Atten= 88%, Lag= 37.2 min
 Discarded = 0.23 cfs @ 12.71 hrs, Volume= 6,067 cf

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs / 2
 Peak Elev= 25.94' @ 12.71 hrs Surf.Area= 686 sf Storage= 2,211 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 82.8 min (882.2 - 799.4)

Volume	Invert	Avail.Storage	Storage Description
#1A	21.00'	1,255 cf	19.42'W x 35.31'L x 6.75'H Field A 4,628 cf Overall - 1,491 cf Embedded = 3,137 cf x 40.0% Voids
#2A	21.75'	1,491 cf	StormTech MC-4500 x 14 Inside #1 Effective Size= 90.4"W x 60.0"H => 26.46 sf x 4.03'L = 106.5 cf Overall Size= 100.0"W x 60.0"H x 4.33'L with 0.31' Overlap 2 Rows of 7 Chambers
		2,746 cf	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	21.00'	8.140 in/hr Exfiltration over Wetted area

Discarded OutFlow Max=0.23 cfs @ 12.71 hrs HW=25.94' (Free Discharge)
 ↑1=Exfiltration (Exfiltration Controls 0.23 cfs)

Summary for Link ADD: TOTAL TO SOUTH

Inflow Area = 20,716 sf, 49.95% Impervious, Inflow Depth = 0.27" for 100 Year event
Inflow = 0.08 cfs @ 12.17 hrs, Volume= 474 cf
Primary = 0.08 cfs @ 12.17 hrs, Volume= 474 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs

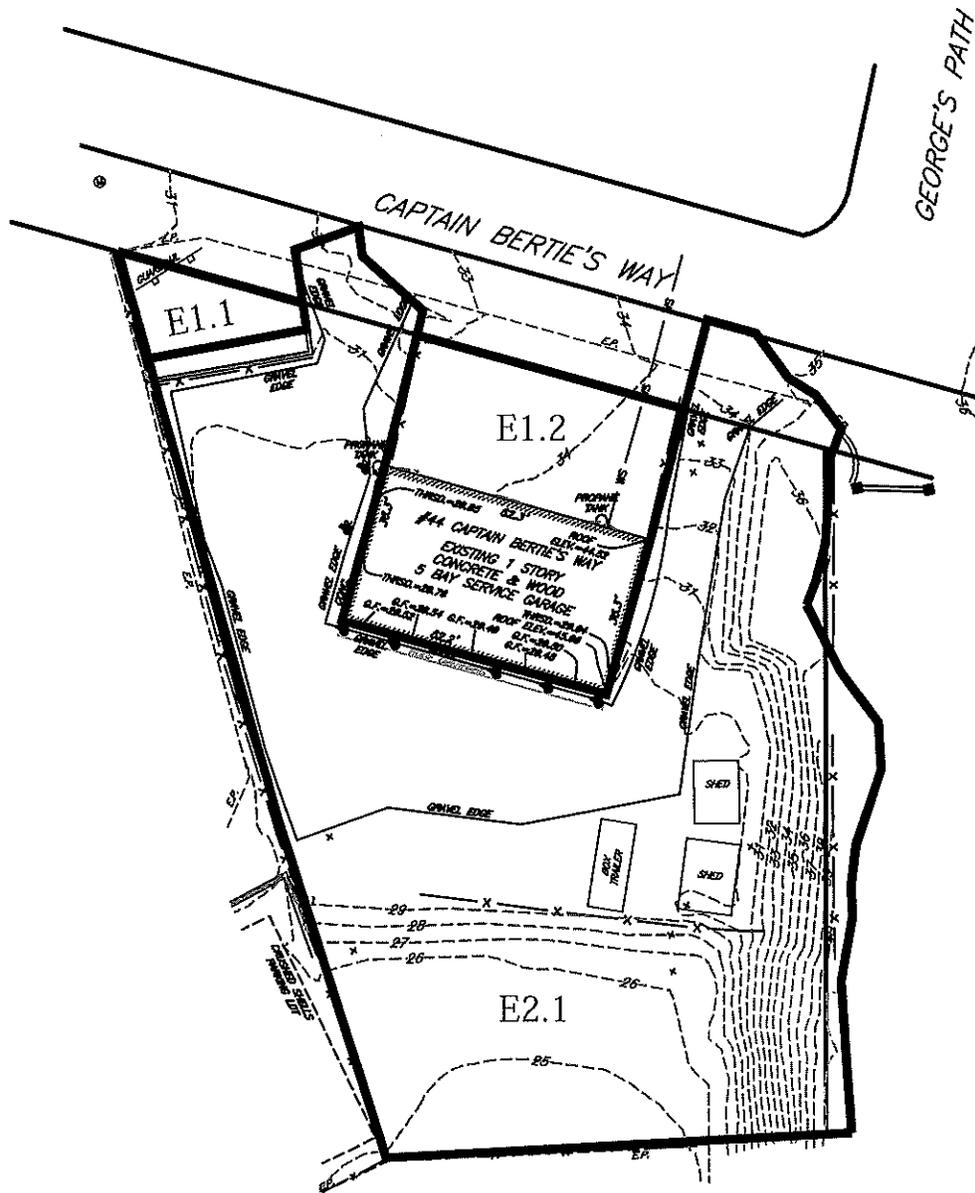
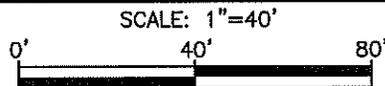


FIGURE 1
EXISTING CONDITIONS WATERSHED MAP

PROPOSED RMD
44 CAPTAIN BERTIE'S WAY
PROVINCETOWN, MASS.



SOURCE:



5/11/2018

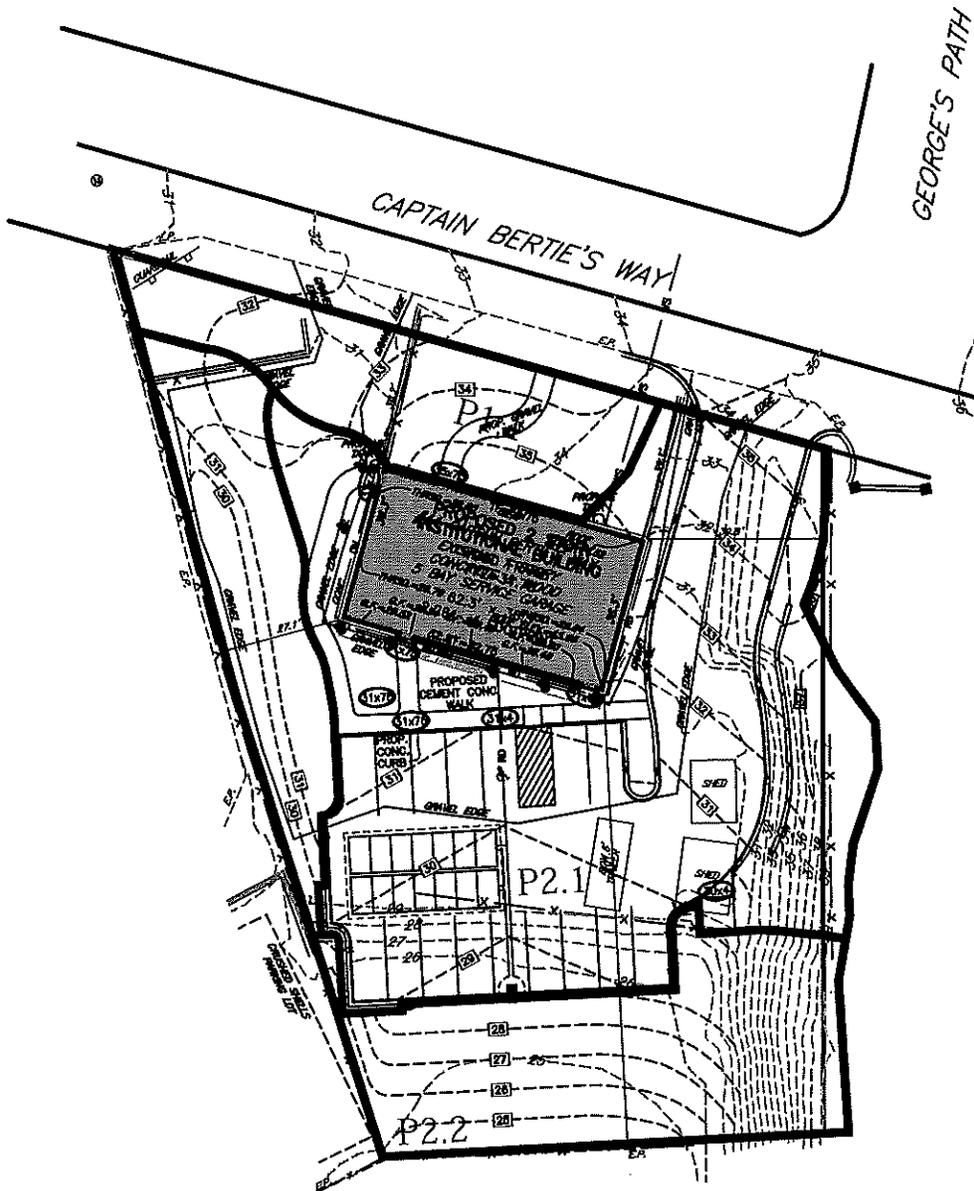
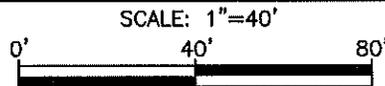


FIGURE 2
 PROPOSED CONDITIONS WATERSHED MAP

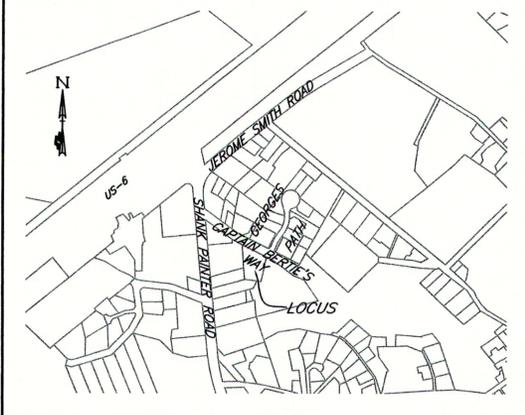
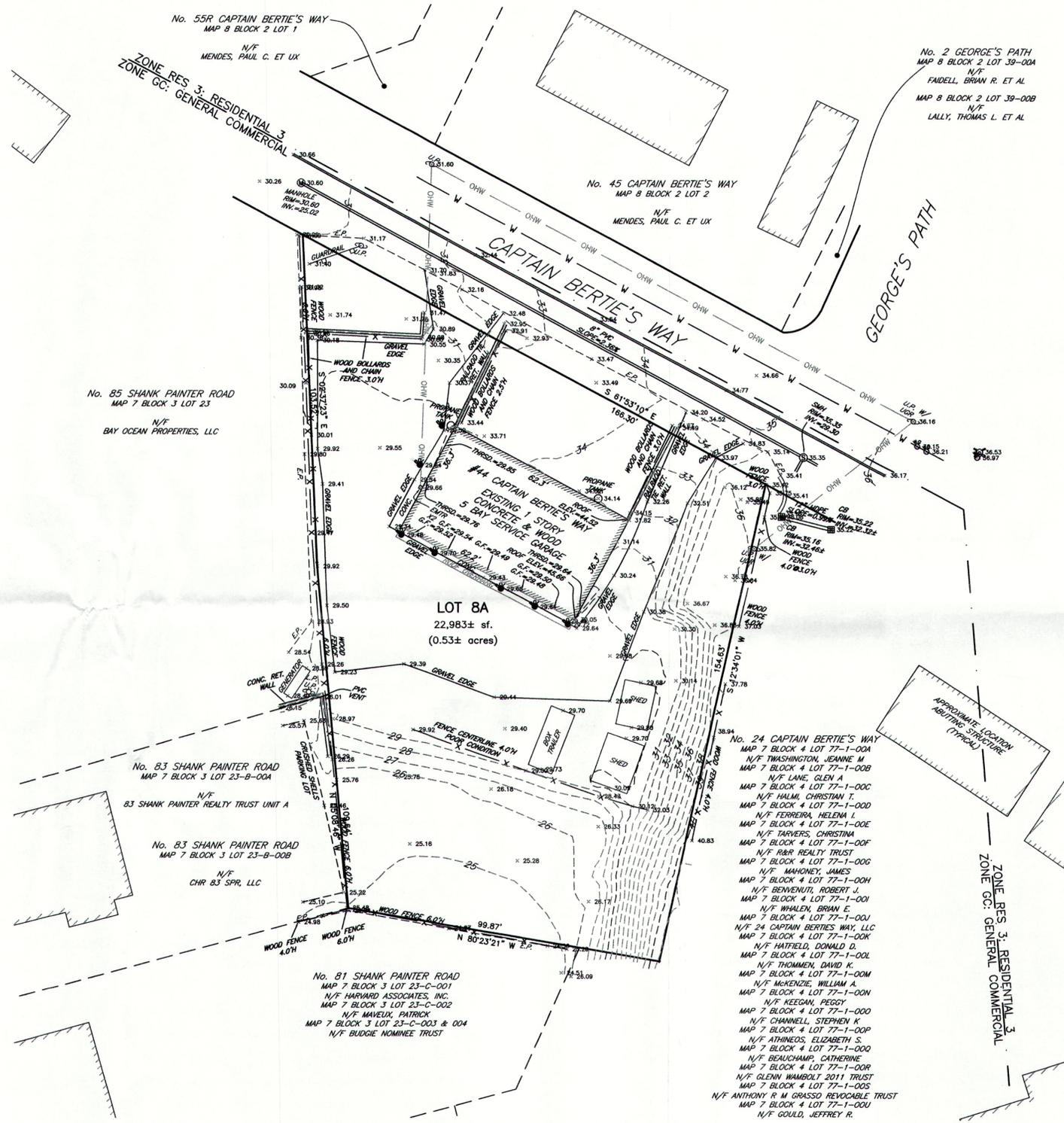
PROPOSED RMD
 44 CAPTAIN BERTIE'S WAY
 PROVINCETOWN, MASS.



SOURCE:



5/11/2018



LOCUS
SCALE: 1"=500'

LOCUS PARCEL INFORMATION:

ASSESSOR'S MAP 3 BLOCK 2 LOT 28
No. 44 CAPTAIN BERTIE'S WAY
OWNER: KLAUS PETER STUERMER
BARSTABLE COUNTY REGISTRY OF DEEDS (BCRD)
DEED - BOOK 11890 PAGE 83
PLAN REFERENCE - PALN BOOK 545 PLAN 79

THE PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA (ZONE A OR V) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25001 C0112; EFFECTIVE DATE: 7/16/2014.

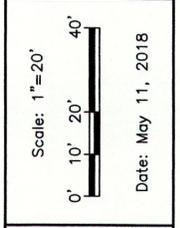
SHEET INDEX	
PLAN TITLE	SHEET DESIGNATION
EXISTING CONDITIONS	C1
LAYOUT	C2
GRADING AND DRAINAGE	C3
UTILITIES	C4
LANDSCAPING	C5
DETAILS	C6

Prepared For:
APPLICANT: VERDANT MEDICAL, INC.
ANNE NAGLE
33 BROADWAY
HANOVER, MASS. 02339
405.990.8929

Prepared By:
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Hayes Engineering, Inc.
603 Salem Street
Warefield, MA 01880
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Fax: 781.246.7596
www.hayeseng.com

Design By: AMC
Drawn By: AMC
Checked By: PJO
Project File: PTN-0001
Comp. No: PTN1
 Issued For Permit
 Issued For Review
 Issued For Bid
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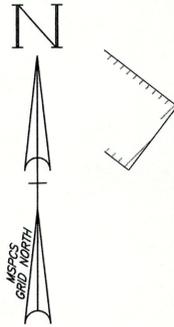


Drawing Title:
**SITE PLAN
PROPOSED RMD
44 CAPT. BERTIE'S WAY
PROVINCETOWN, MASS.**

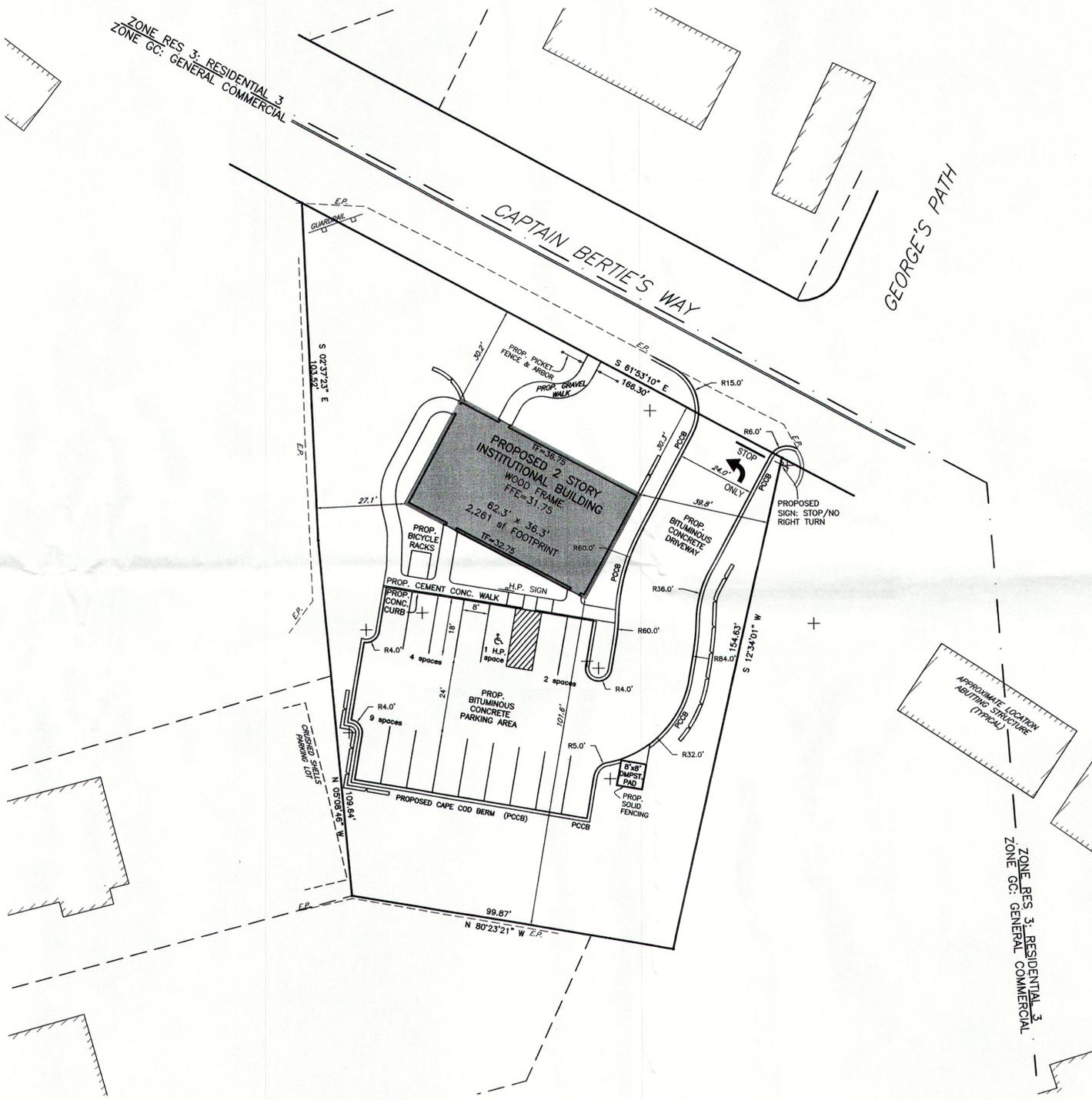
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Seal:
Drawing No.:
C1
EXISTING CONDITIONS
SHEET 1 OF 6



ZONE RES 3: RESIDENTIAL 3
 ZONE GC: GENERAL COMMERCIAL



ZONING TABLE		
ZONE	GC (GENERAL COMMERCIAL)	
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	PROPOSED
FRONT YARD SETBACK	30 ft.	30.2 ft.
SIDE YARD SETBACK	15 ft.	27.1 ft.
REAR YARD SETBACK	25 ft.	101.6 ft.
MIN. FRONTAGE	70 ft.	166.3 ft.
MIN. LOT AREA	7,000 s.f.	22,983± s.f.
MAX. BUILDING HEIGHT	2 stories	2 stories
MAX. LOT COVERAGE (bldgs.)	40 %	9.8 %
PARKING (see calculations)	7 spaces	16 spaces

PARKING CALCULATIONS	
REQUIRED MISCELLANEOUS:	1 space/350 sf x 2,400 sf = 7 spaces
REQUIRED HANDICAPPED:	for 1-25 Total Spaces = 1 Handicapped
TOTAL SPACES PROVIDED:	15 (8'x18') + 1 (8'x18' HP) = 16 spaces
TOTAL HANDICAPPED PROVIDED:	1 Van Accessible

Prepared For:
 APPLICANT: VERDANT MEDICAL, INC.
 ANNE NAGLE
 33 BROADWAY
 MA 02108
 408.590.8929

Prepared By:
 Hayes Engineering, Inc.
 603 Salem Street
 Waltham, MA 01980
 Tel: 781.246.7506
 Fax: 781.246.7506
 www.hayeseng.com

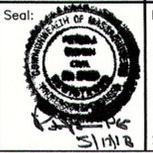


Design By: AMC
 Drawn By: AMC
 Checked By: PJO
 Project File: PTN-0001
 Comp. No: PTN1
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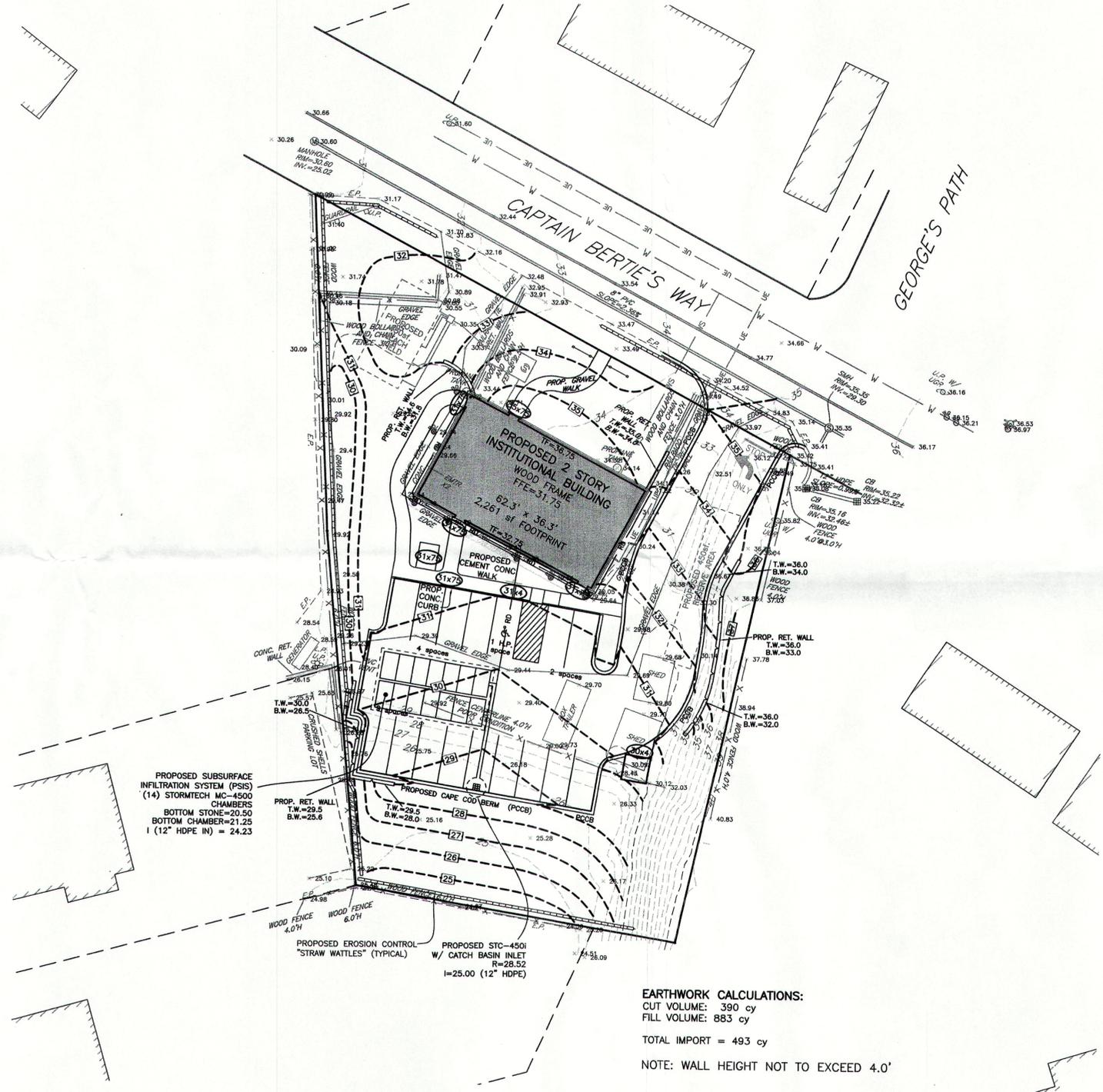
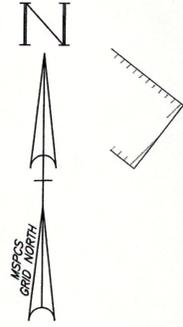
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Scale: 1"=20'
 0' 10' 20' 40'
 Date: May 11, 2018

Drawing Title:
 SITE PLAN
 PROPOSED RMD
 44 CAPT. BERTIE'S WAY
 PROVINCETOWN, MASS.



Drawing No.:
 C2
 LAYOUT & MATERIALS
 SHEET 2 OF 6



EARTHWORK CALCULATIONS:
 CUT VOLUME: 390 cy
 FILL VOLUME: 883 cy
 TOTAL IMPORT = 493 cy
 NOTE: WALL HEIGHT NOT TO EXCEED 4.0'

PROPOSED SUBSURFACE INFILTRATION SYSTEM (PSIS) (14) STORMTECH MC-4500 CHAMBERS
 BOTTOM CHAMBER=20.50
 BOTTOM CHAMBER=21.25
 I (12" HDPE IN) = 24.23

PROPOSED EROSION CONTROL "STRAW WATTLES" (TYPICAL)
 WOOD FENCE 4.0'H
 WOOD FENCE 6.0'H
 PROPOSED STC-450I W/ CATCH BASIN INLET R=28.52 I=25.00 (12" HDPE)

Prepared For:

APPLICANT
 VERDANT MEDICAL, INC.
 ANNE NAGLE
 33 BROADWAY
 4TH FLOOR
 PROVINCETOWN, MASS. 02339
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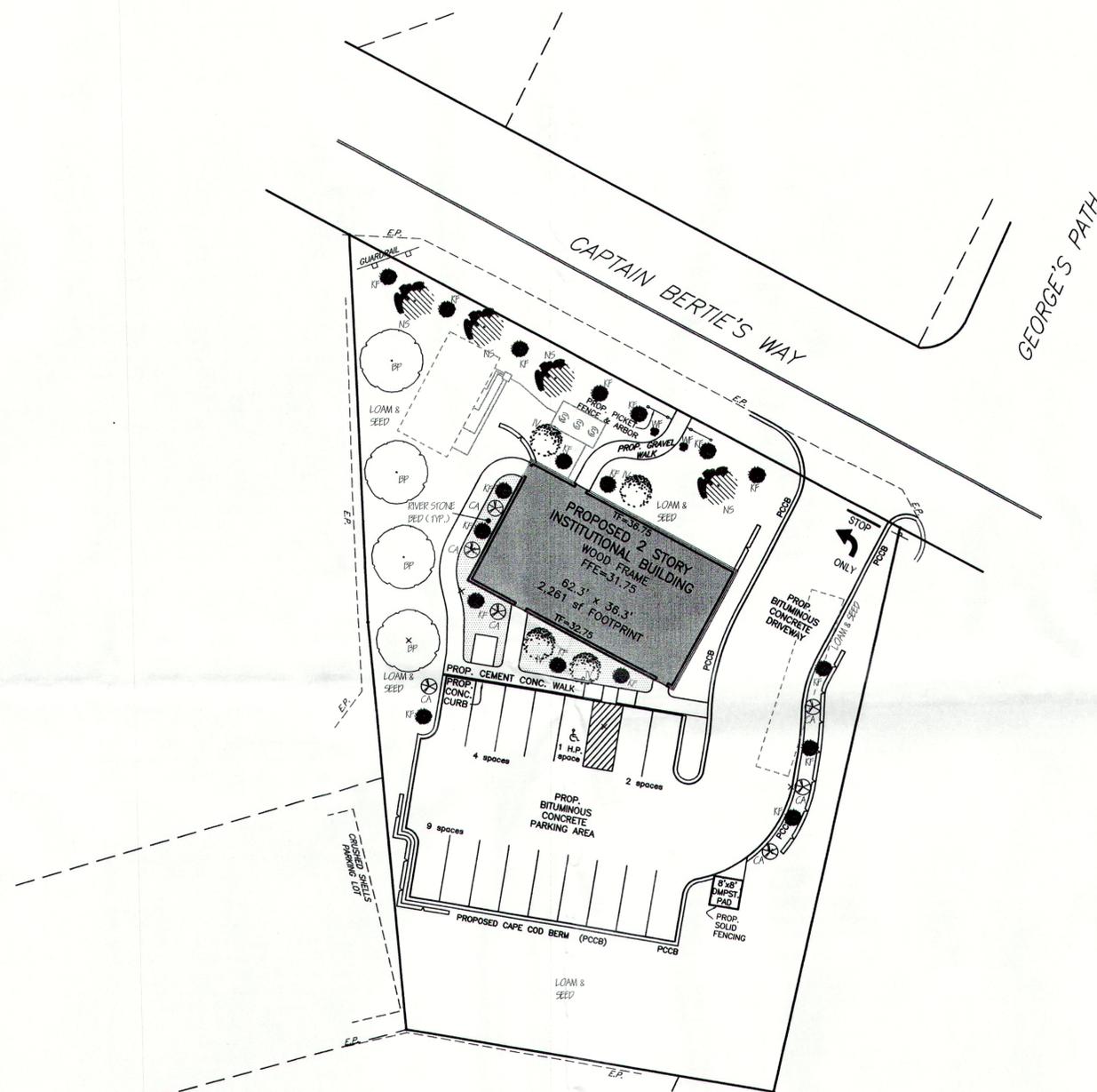
SITE PLAN
 PROPOSED RMD
 44 CAPT. BERTIE'S WAY
 PROVINCETOWN, MASS.



Drawing No.:

C3
 GRADING & DRAINAGE

SHEET 3 OF 6



PLANT SCHEDULE

QTY.	KEY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
TREES:					
4	BP		BETULA PAPIRYFERA	PAPER BIRCH	2" Ø
4	NS		NYSSA SYLVATICA	BLACK TUPELO	2" Ø
SHRUBS:					
2	WF		WISTERIA FRUTESCENS	AMERICAN WISTERIA	3' cal.
4	IV		ILEX VERTICILLATA	COMMON WINTERBERRY	3' cal.
7	CA		CLETHRA ALNIFOLIA	COASTAL SWEET PEPPERBUSH	3' cal.
GRASSES:					
18	KF		CALAMAGROSIS ACUTIFLORA "KARL FOERSTER"	KARL FOERSTER FEATHER REED GRASS	3' cal.

Prepared For:

APPLICANT
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 405.580.8929

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Checked By: PJO

Project File: PTN-0001

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Issued For Permit

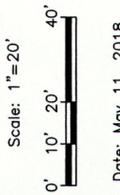
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Issued For Bid

Issued For Construction

Not For Construction

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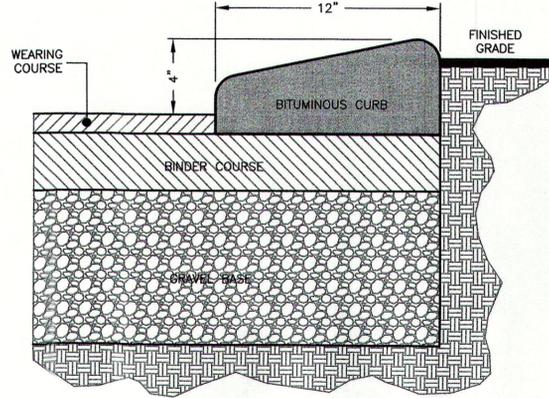
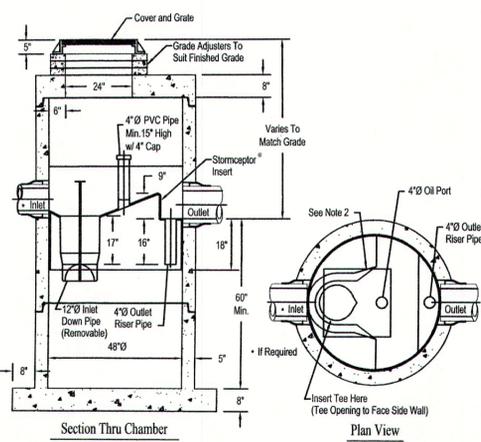


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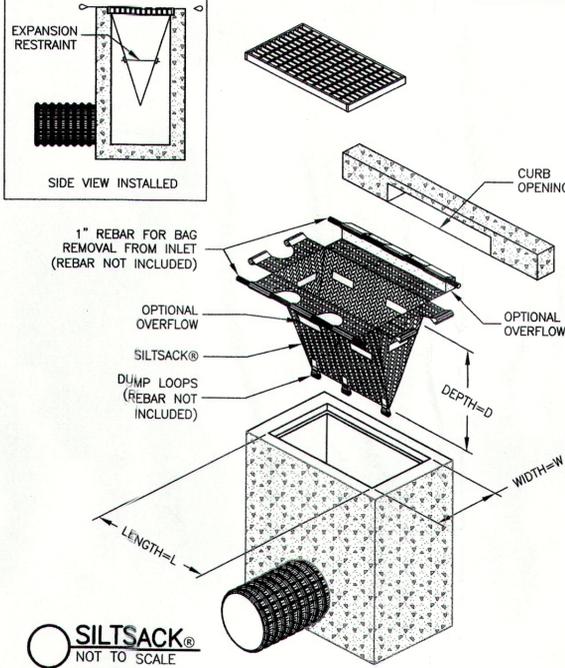
SITE PLAN
 PROPOSED RMD
 44 CAPT. BERTIE'S WAY
 PROVINCETOWN, MASS.

Seal: Drawing No.:
C5
 LANDSCAPE
 SHEET 5 OF 6

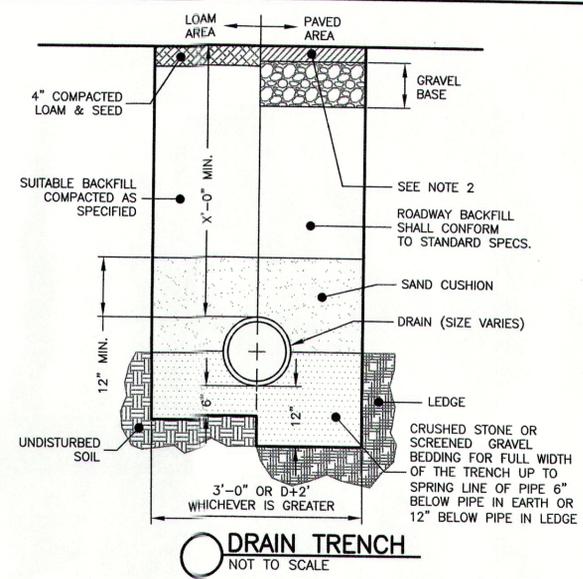
STC 450i Precast Concrete Stormceptor (450 U.S. Gallon Capacity)



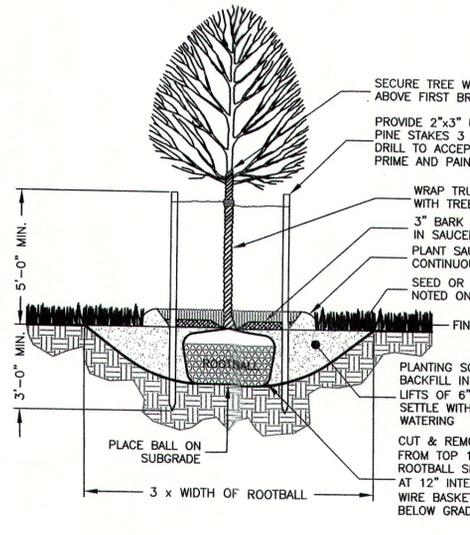
CAPE COD CURB NOT TO SCALE



SILTSACK NOT TO SCALE



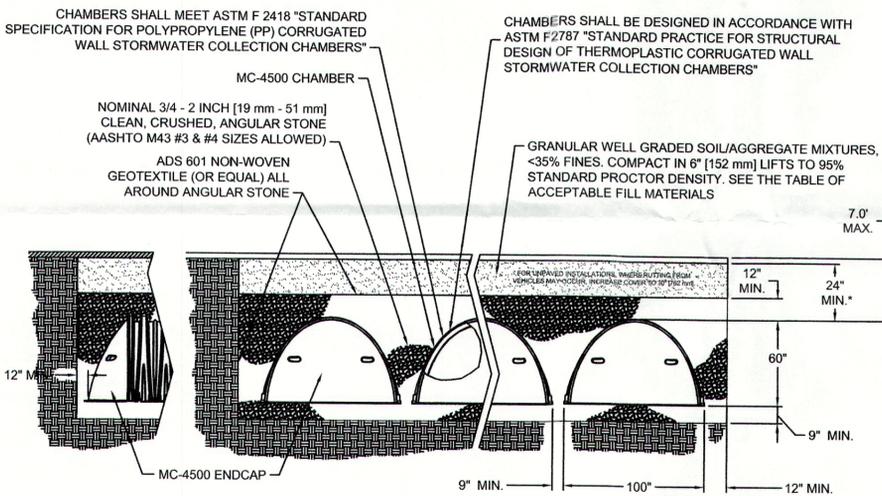
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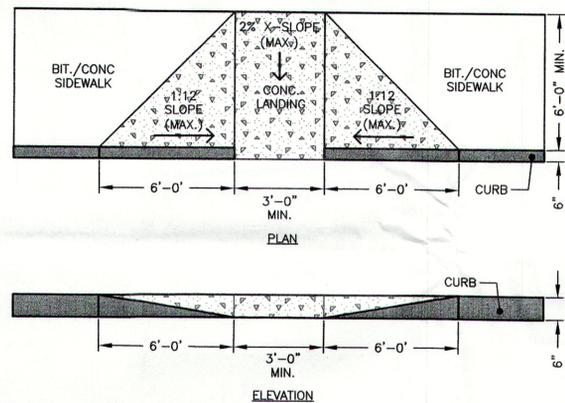
DECIDUOUS TREE PLANTING NOT TO SCALE

- Notes:
- The Use Of Flexible Connection is Recommended at the Inlet and Outlet Where Applicable.
 - The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
 - The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
 - Contact a Concrete Pipe Division representative for further details not listed on this drawing.

STORMCEPTOR STC 450i NOT TO SCALE

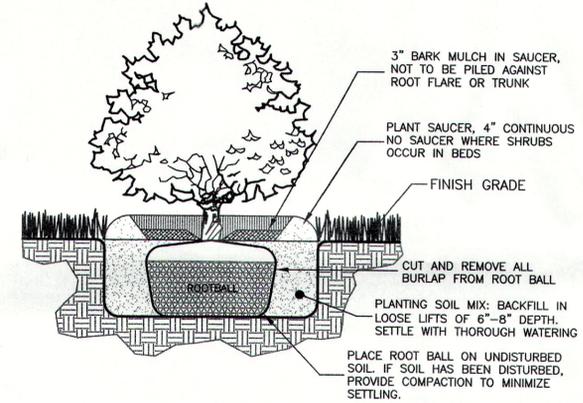


MC-4500 TYPICAL CROSS-SECTION NOT TO SCALE



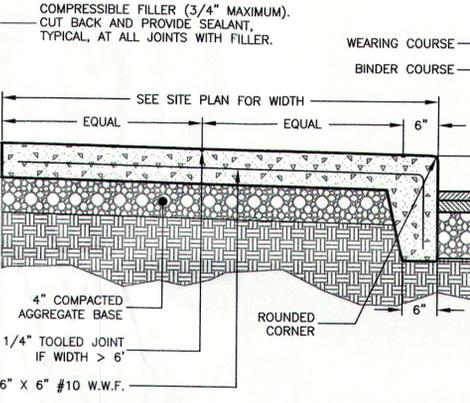
WHEELCHAIR RAMP NOT TO SCALE

NOTE: WHEELCHAIR RAMP SHALL COMPLY WITH ALL STATE AND FEDERAL RULES AND REGULATIONS.



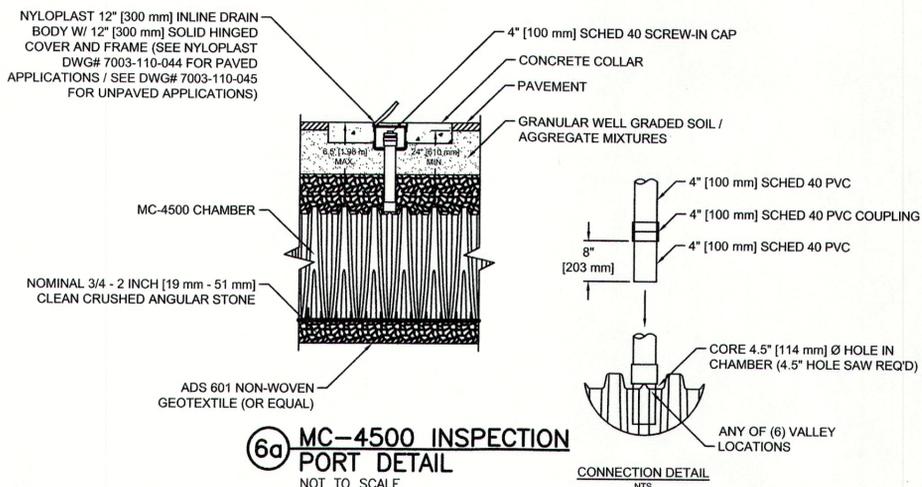
SHRUB PLANTING NOT TO SCALE

- NOTES:
- SHRUB SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT DID TO NURSERY OR FIELD GRADE.
 - WHERE SHRUBS OCCUR IN PLANT BED GROUPINGS, PROVIDE A 12" DEEP MINIMUM CONTINUOUS LOAM BED.

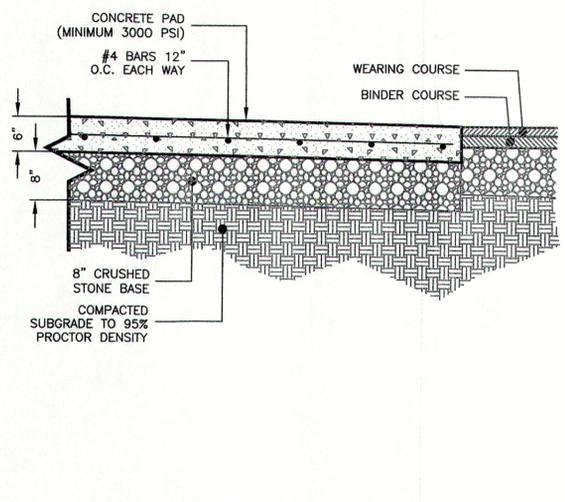


CONCRETE SIDEWALK (BUILDING PERIMETER) NOT TO SCALE

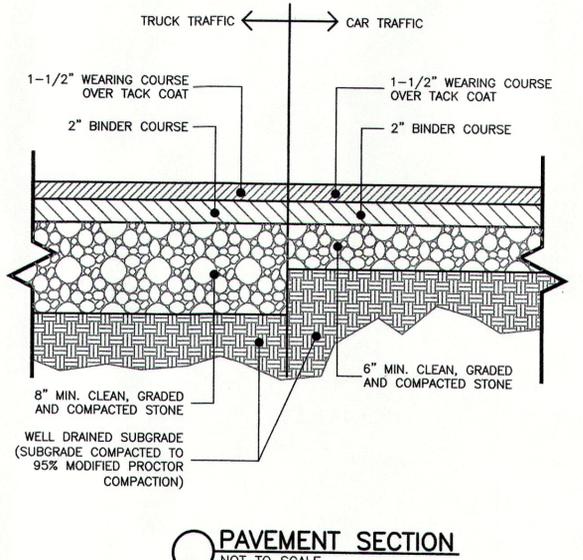
- NOTES:
- INSPECTION PORTS MAY BE CONNECTED THROUGH ANY OF (6) CHAMBER CORRUGATION VALLEYS
 - ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.



MC-4500 INSPECTION PORT DETAIL NOT TO SCALE

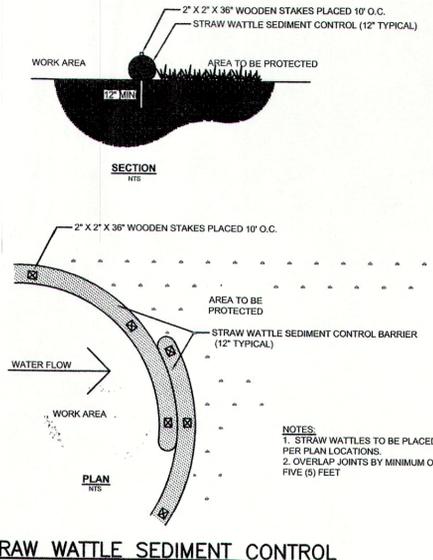


DUMPSTER PAD NOT TO SCALE



PAVEMENT SECTION NOT TO SCALE

NOTE: THIS PAVEMENT SECTION DETAIL REFLECTS MINIMUM REQUIREMENTS. ENGINEER TO DETERMINE DESIGN BASED ON GEOTECHNICAL DATA.

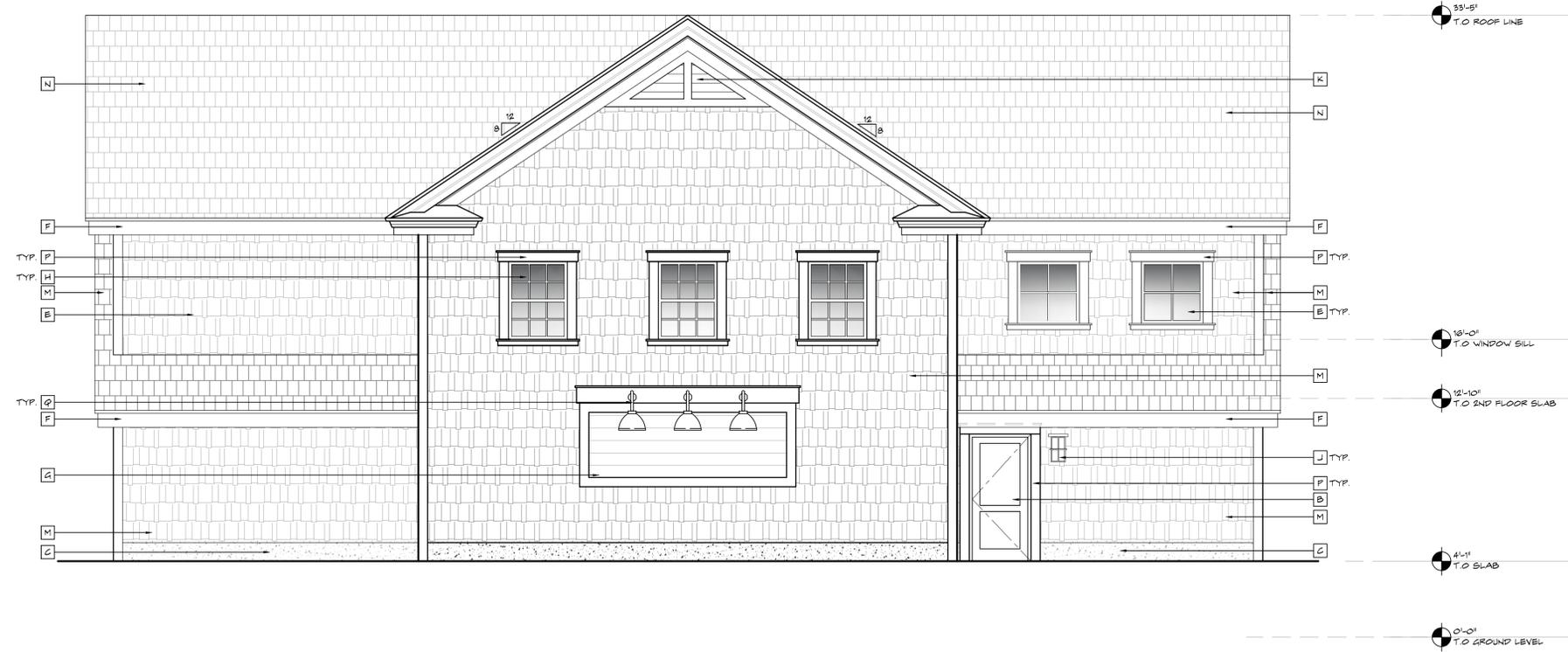


STRAW WATTLE SEDIMENT CONTROL NOT TO SCALE

- NOTES:
- STRAW WATTLES TO BE PLACED PER PLAN LOCATIONS.
 - OVERLAP JOINTS BY MINIMUM OF FIVE (5) FEET



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES

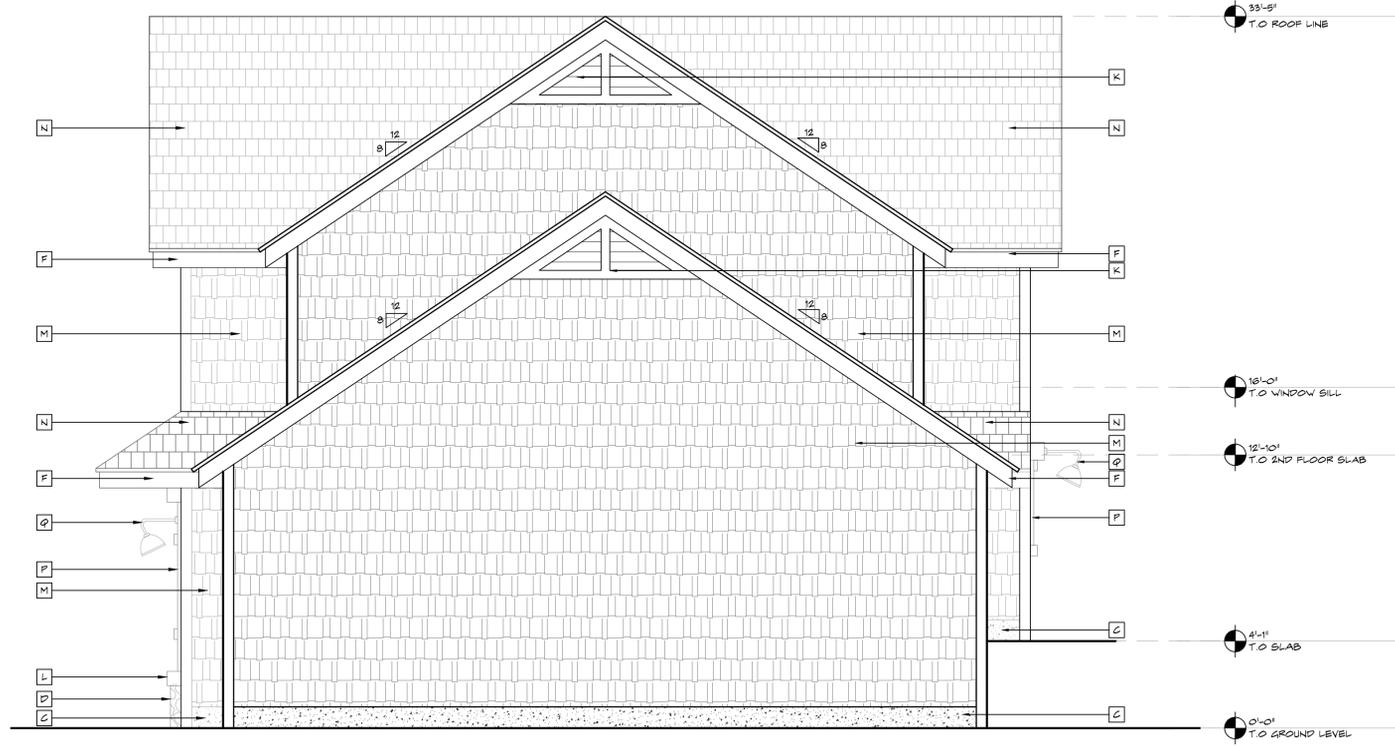
PROPOSED ELEV KEYNOTES

- A ALUMINUM FRAMED WOOD/GLASS DOOR
- B GALVANIZED HOLLOW METAL DOOR
- C CONCRETE BASE WITH TEXTURE FINISH
- D STONE CLADDING
- E ALUMINUM FRAME FIXED WINDOW WITH GRAY TINT.
- F WOOD FASCIA WITH SMOOTH FINISH.
- G SHOU SUGI BAN WOOD CLADDING (NIPON)
- H ALUMINUM FRAME WINDOW
- J WALL MOUNTED SCONCE
- K LOUVER
- L STONE BAND
- M EXTERIOR SIDING
- N ARCHITECTURAL ASPHALT SHINGLE
- P DECORATIVE TRIM WITH STUCCO FINISH
- Q WALL MOUNTED LIGHT FIXTURE

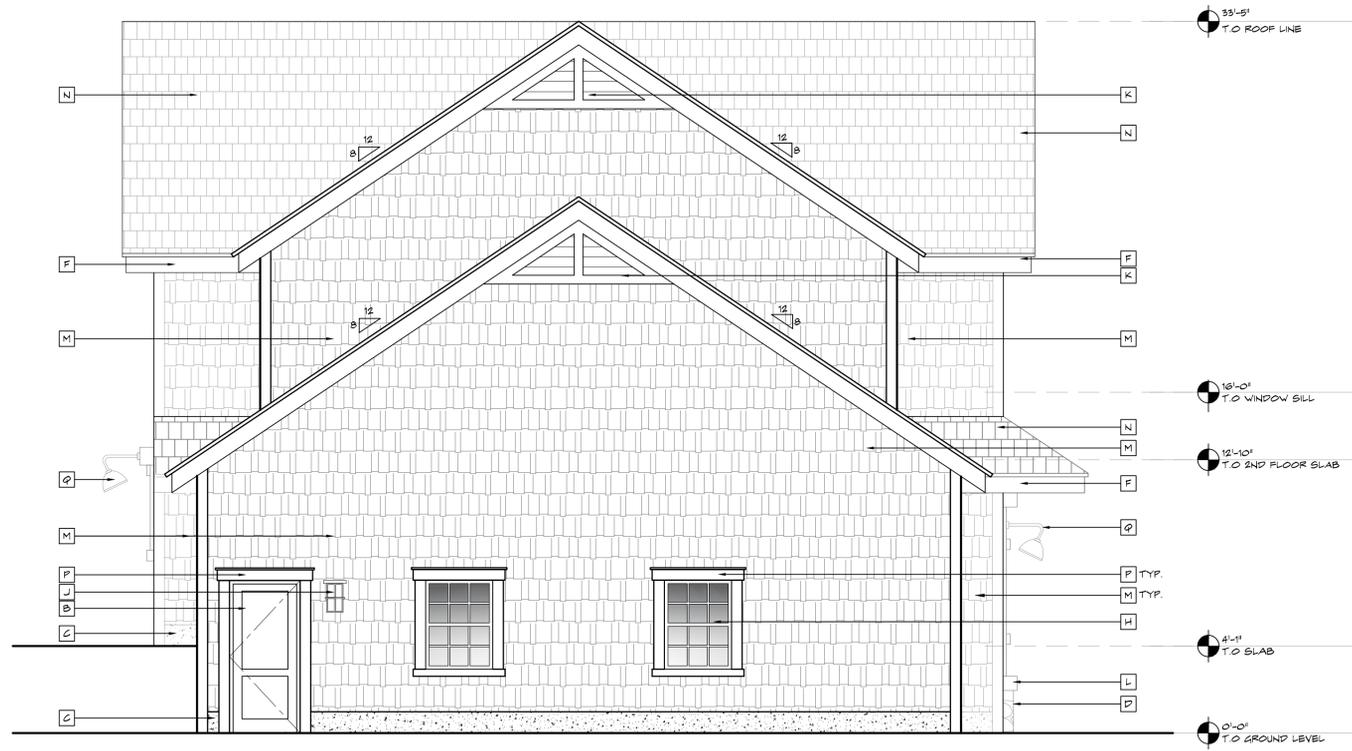
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Revisions:

Project no: 18026
Date: 07.17.18
Drawn by: MAR
Project Architect: MR



1 EAST ELEVATION
SCALE: 1/4"=1'-0"



2 WEST ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES

PROPOSED ELEV KEYNOTES

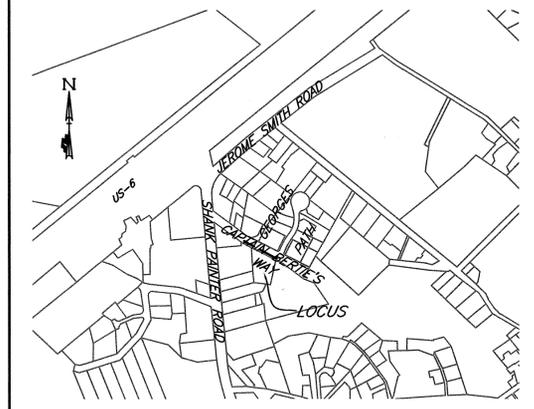
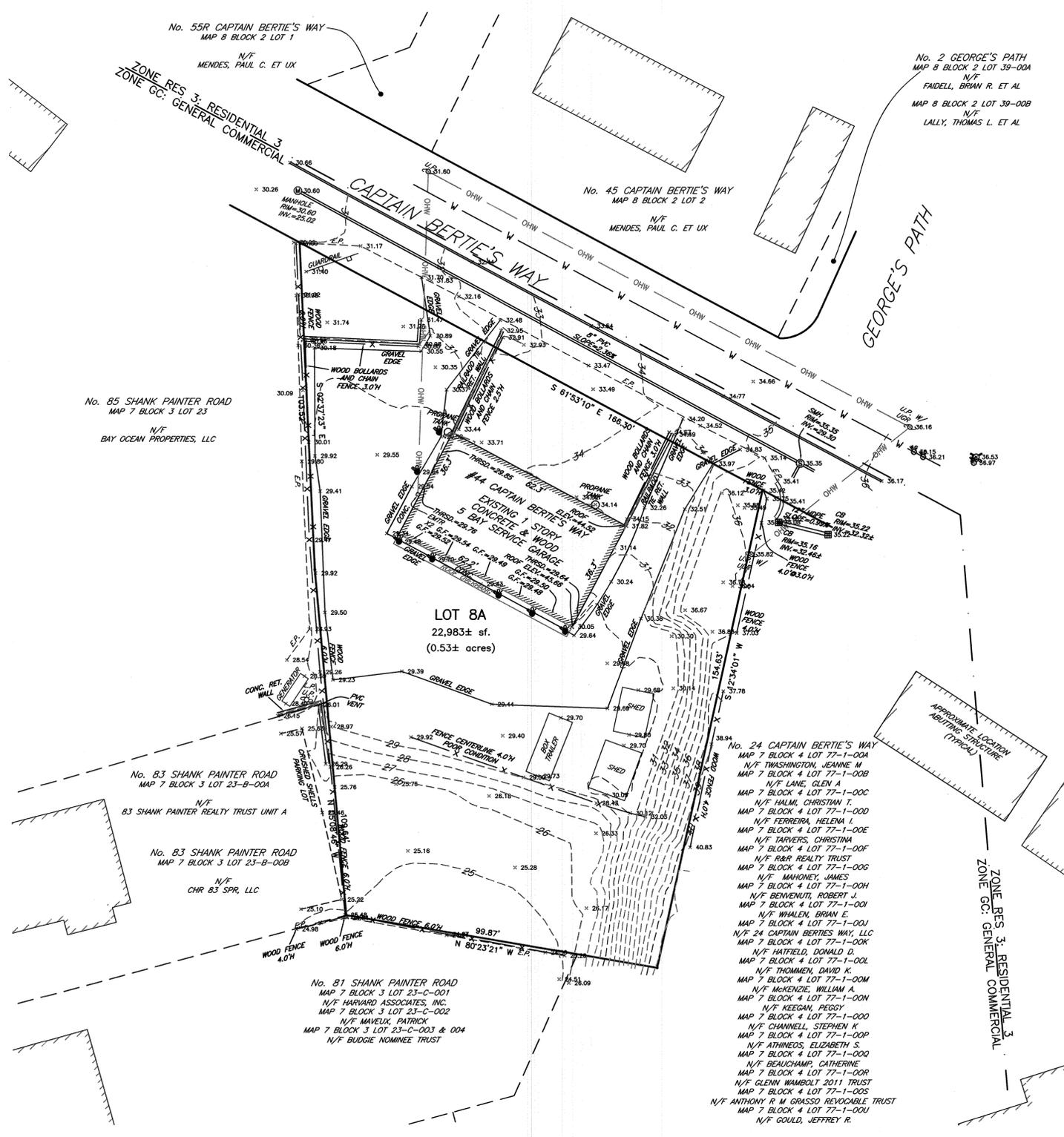
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- P DECORATIVE TRIM WITH STUCCO FINISH
- Q WALL MOUNTED LIGHT FIXTURE

New Construction for:
Verdant Medical, INC
44 Captain Bertie's Way
Provincetown, Massachusetts

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Revisions:

Project no: 18026
Date: 07.17.18
Drawn by: MAR
Project Architect: MR



LOCUST
SCALE: 1"=500'

LOCUS PARCEL INFORMATION:

ASSESSOR'S MAP 3 BLOCK 2 LOT 28
No. 44 CAPTAIN BERTIE'S WAY
OWNER: KLAUS PETER STUERMER
BARSTABLE COUNTY REGISTRY OF DEEDS (BCRD)
DEED - BOOK 11890 PAGE 83
PLAN REFERENCE - PALN BOOK 545 PLAN 79

THE PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA (ZONE A OR V) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25001 C012J; EFFECTIVE DATE: 7/16/2014.

SHEET INDEX	
PLAN TITLE	SHEET DESIGNATION
EXISTING CONDITIONS	C1
LAYOUT	C2
GRADING AND DRAINAGE	C3
UTILITIES	C4
LANDSCAPING	C5
DETAILS	C6

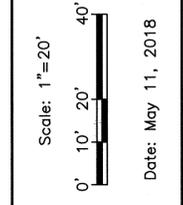
Prepared For:

APPLICANT
VERDANT MEDICAL, INC.
ANNE NAGLE

Prepared By:

Hayes Engineering, Inc.
603 Salem Street
Wakefield, MA 01880
Ph: 781.246.2800
Fax: 781.246.7586
www.hayeseng.com

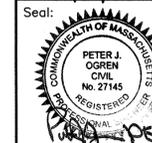
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1	Planning Board Comments	7/12/2018



Drawing Title:

**SITE PLAN
PROPOSED RMD
44 CAPT. BERTIE'S WAY
PROVINCETOWN, MASS.**

7/15/18



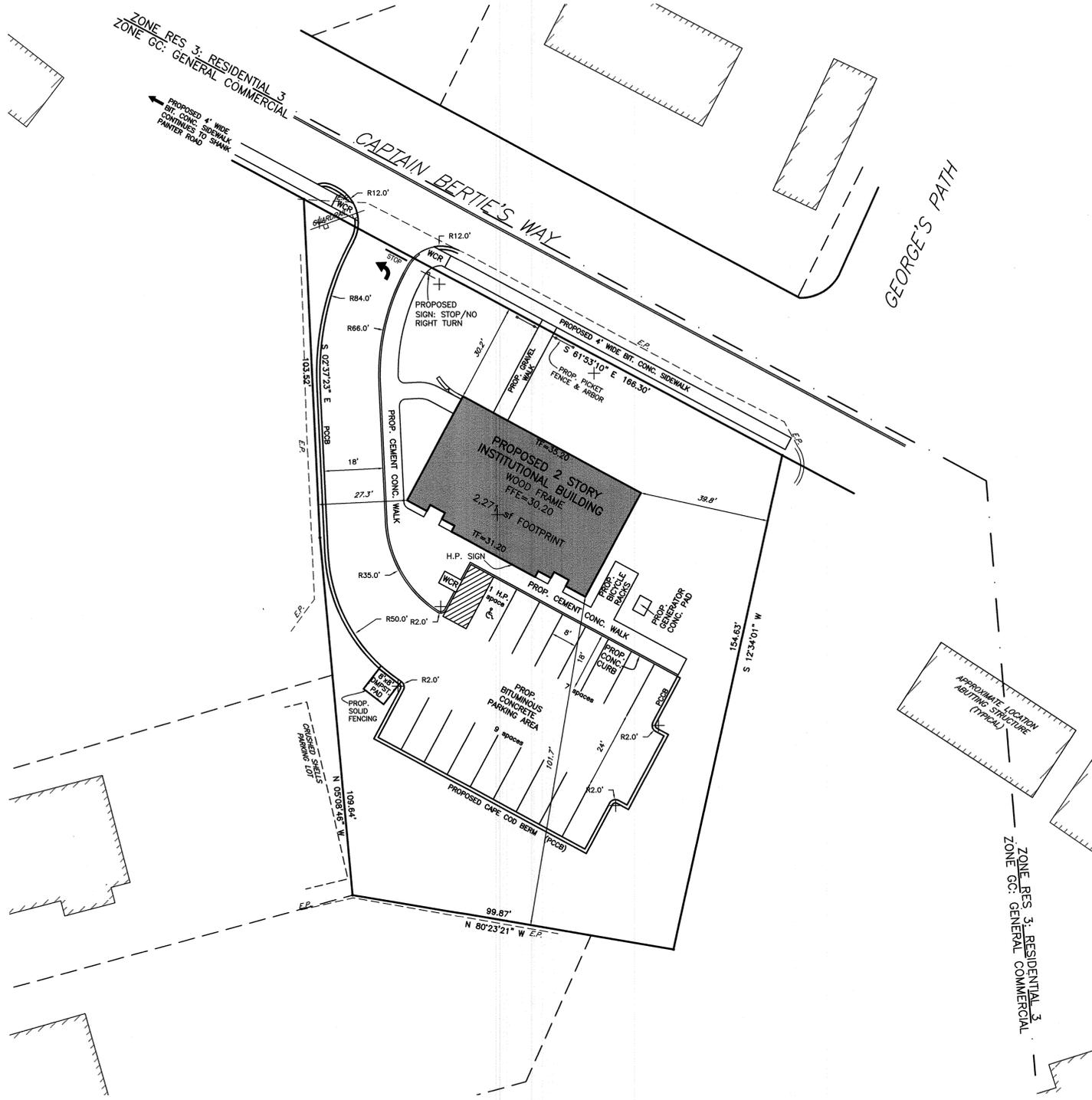
Drawing No.:

C1
EXISTING CONDITIONS

SHEET 1 OF 6



ZONE RES 3: RESIDENTIAL 3
 ZONE GC: GENERAL COMMERCIAL



ZONING TABLE		
ZONE	GC (GENERAL COMMERCIAL)	
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	PROPOSED
FRONT YARD SETBACK	30 ft.	30.2 ft.
SIDE YARD SETBACK	15 ft.	27.3 ft.
REAR YARD SETBACK	25 ft.	101.7 ft.
MIN. FRONTAGE	70 ft.	166.3 ft.
MIN. LOT AREA	7,000 s.f.	22,983± s.f.
MAX. BUILDING HEIGHT	2 stories	2 stories
MAX. LOT COVERAGE (bldgs.)	40 %	9.9 %
PARKING (see calculations)	7 spaces	17 spaces

PARKING CALCULATIONS	
REQUIRED MISCELLANEOUS:	1 space/350 sf x 2,400 sf = 7 spaces
REQUIRED HANDICAPPED:	for 1-25 Total Spaces = 1 Handicapped
TOTAL SPACES PROVIDED:	16 (8'x18') + 1 (8'x18' HP) = 17 spaces
TOTAL HANDICAPPED PROVIDED:	1 Van Accessible

Prepared For:
 APPLICANT
 VERDANT MEDICAL, INC.
 ANNE NAGLE
 33 BROADWAY
 HANOVER, MASS. 02339
 405.590.8929

Prepared By:
 Hayes Engineering, Inc.
 Hayes Engineering, Inc.
 603 Salem Street
 Wakefield, MA 01880
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 Fax: 781.246.7596
 www.hayeseng.com

Design By: AMC
 Drawn By: AMC
 Checked By: PJO
 Project File: PTN-0001
 Comp. No: PTN1
 Issued For Permit
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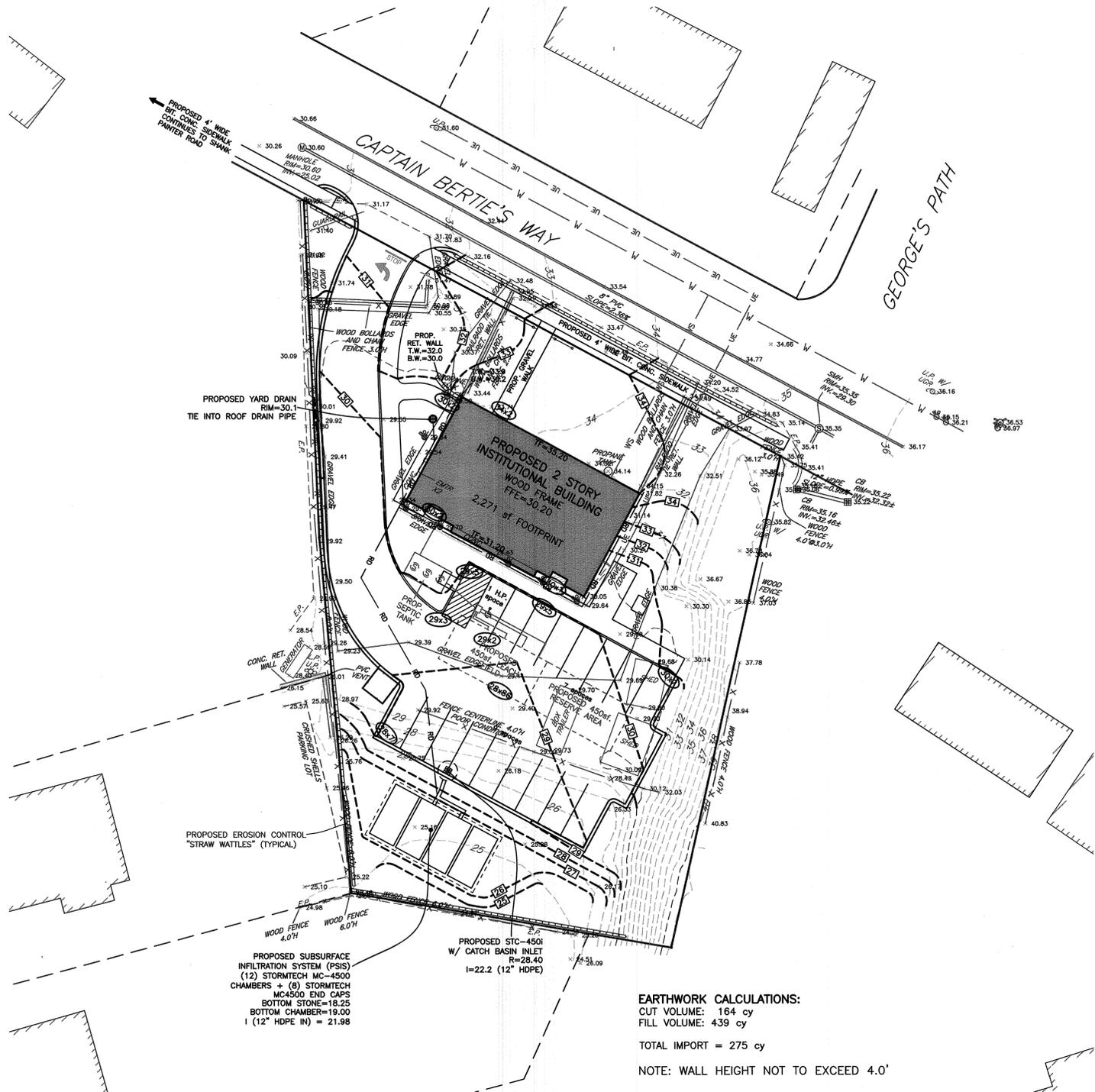
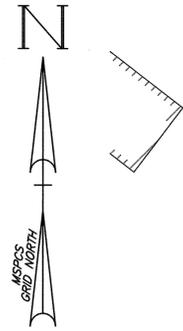
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1	Planning Board Comments	7/12/2018

Scale: 1"=20'
 0' 10' 20' 40'
 Date: May 11, 2018

Drawing Title:
 SITE PLAN
 PROPOSED RMD
 44 CAPT. BERTIE'S WAY
 PROVINCETOWN, MASS.



Drawing No.:
 C2
 LAYOUT & MATERIALS
 SHEET 2 OF 6



PROPOSED SUBSURFACE INFILTRATION SYSTEM (PSIS)
 (12) STORMTECH MC-4500 CHAMBERS + (8) STORMTECH MC4500 END CAPS
 BOTTOM STONE=18.25
 BOTTOM CHAMBER=19.00
 I (12" HDPE IN) = 21.98

EARTHWORK CALCULATIONS:
 CUT VOLUME: 164 cy
 FILL VOLUME: 439 cy
 TOTAL IMPORT = 275 cy
 NOTE: WALL HEIGHT NOT TO EXCEED 4.0'

Prepared For:

APPLICANT
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 HANOVER, MASS. 02339
 405.590.8929

Prepared By:

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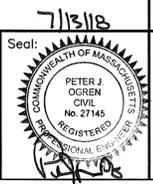
Design By: AMC
 Drawn By: AMC
 Checked By: PJO
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Scale: 1"=20'
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 Date: May 11, 2018

Drawing Title:

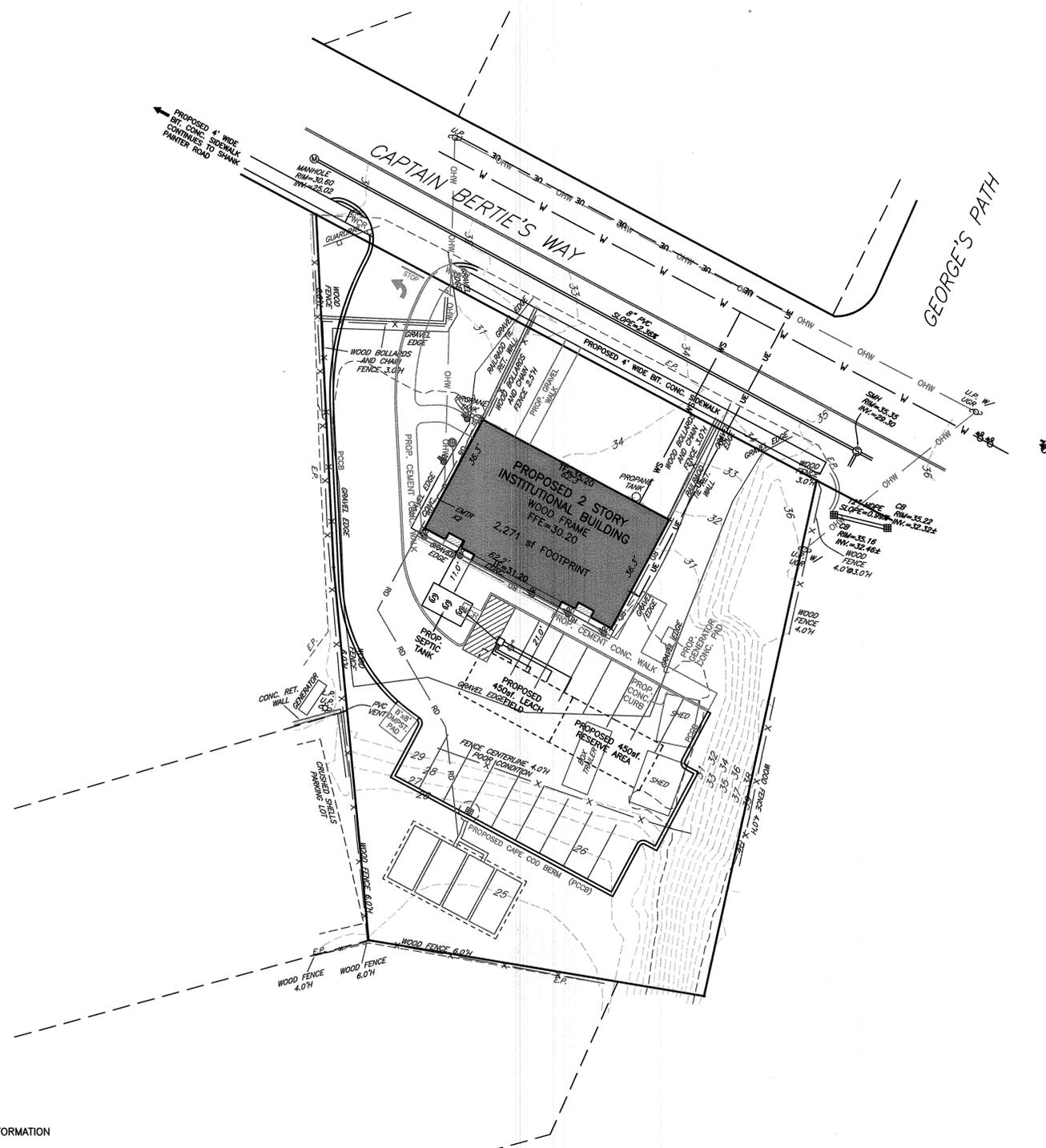
SITE PLAN
 PROPOSED RMD
 44 CAPT. BERTIE'S WAY
 PROVINCETOWN, MASS.



Drawing No.:

C3
 GRADING & DRAINAGE

SHEET 3 OF 6



CONTRACTORS UTILITY NOTES:

- 1) THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM FIELD SURVEY INFORMATION AND AVAILABLE EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- 2) THE CONTRACTORS SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING THE LOCATIONS, SIZES, AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL NOTIFY THE ENGINEER IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DESIGN AND THE APPROPRIATE REMEDIAL ACTION PRIOR TO PROCEEDING WITH THE WORK.
- 3) THE CONTRACTORS ARE RESPONSIBLE FOR CONTACTING DIG SAFE AT (800) 322-4844 PRIOR TO THE START OF ANY CONSTRUCTION.

SANITARY SEPTIC SYSTEM NOTE:

SEPTIC SYSTEM DESIGN SUBJECT TO APPROVAL BY TOWN OF PROVINCETOWN BOARD OF HEALTH.



Prepared For:
APPLICANT
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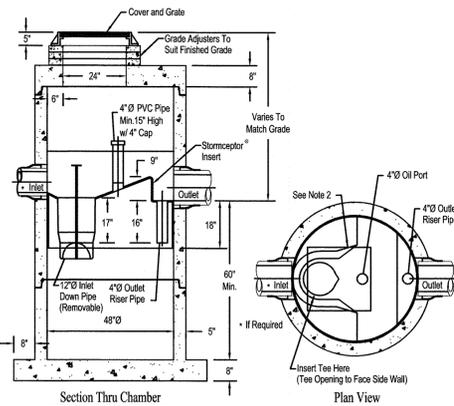
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Drawing Title:
**SITE PLAN
 PROPOSED RMD
 44 CAPT. BERTIE'S WAY
 PROVINCETOWN, MASS.**

Drawing No.:
C4
 UTILITIES
 SHEET 4 OF 6

STC 450i Precast Concrete Stormceptor (450 U.S. Gallon Capacity)

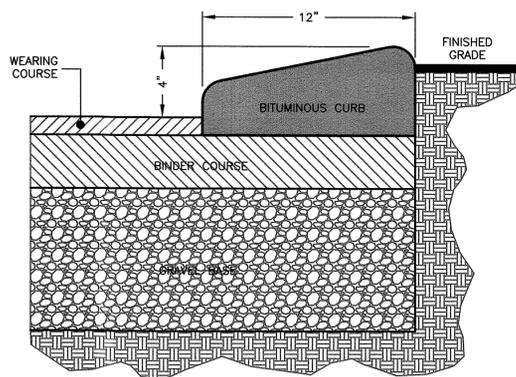


- Notes:
- The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 - The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
 - The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
 - Contact a Concrete Pipe Division representative for further details not listed on this drawing.

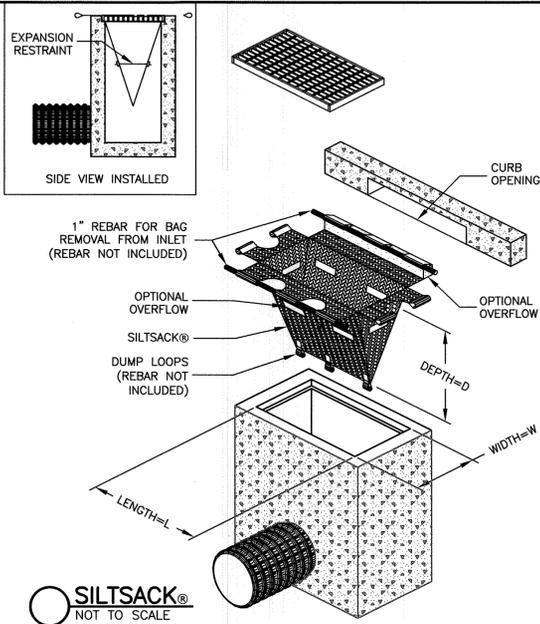
STORMCEPTOR STC 450i NOT TO SCALE

Rinker 027

CAPE COD CURB NOT TO SCALE

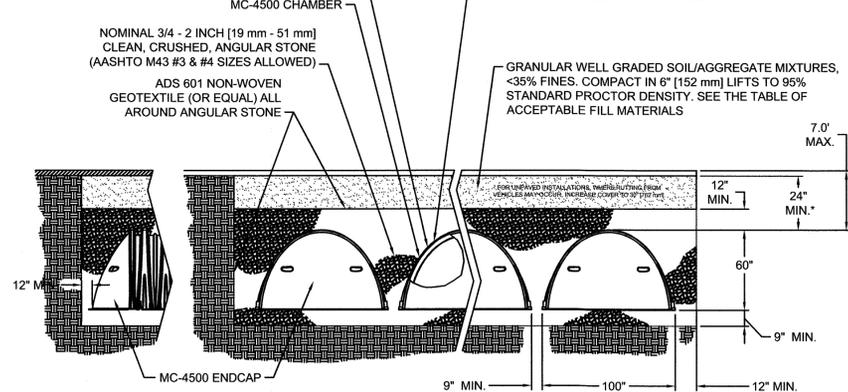


SILTSACK® NOT TO SCALE



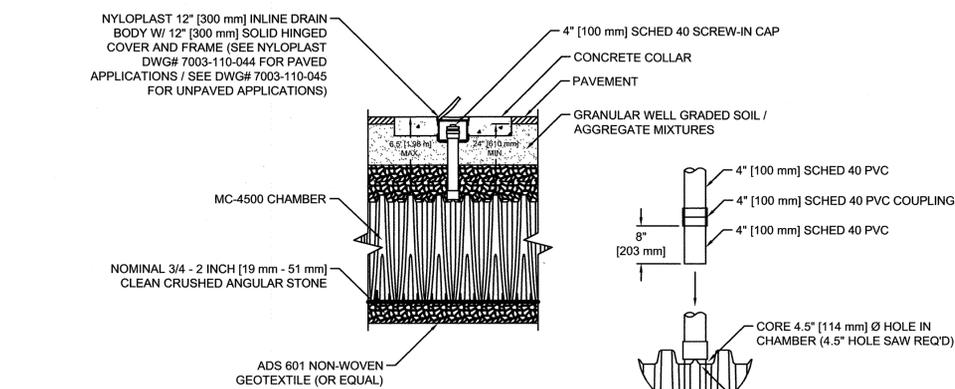
CHAMBERS SHALL MEET ASTM F 2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"

CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"

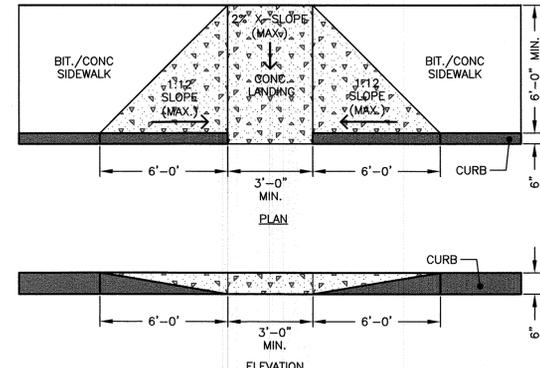


MC-4500 TYPICAL CROSS-SECTION NOT TO SCALE

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 - ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

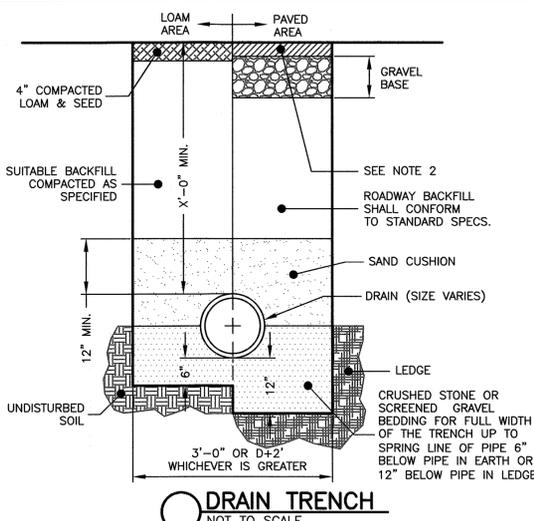


MC-4500 INSPECTION PORT DETAIL NOT TO SCALE



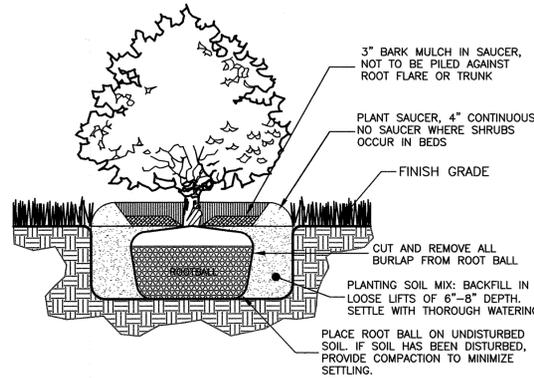
WHEELCHAIR RAMP NOT TO SCALE

NOTE: WHEELCHAIR RAMP SHALL COMPLY WITH ALL STATE AND FEDERAL RULES AND REGULATIONS.



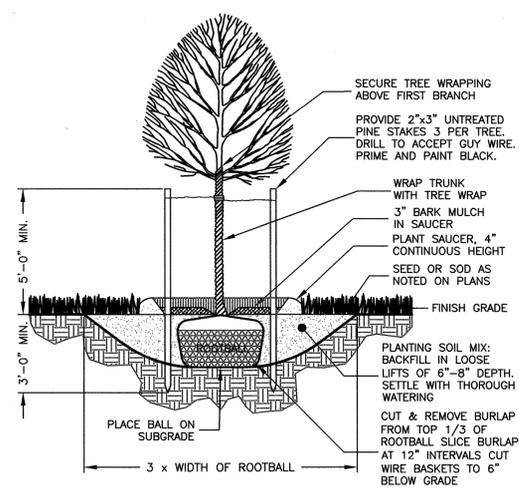
DRAIN TRENCH NOT TO SCALE

- NOTES:
- ALL MATERIAL SHALL CONFORM TO CITY/TOWN OF DEPARTMENT OF PUBLIC WORKS.
 - NEW ROADWAY CONSTRUCTION SHALL CONFORM TO CITY/TOWN SPECIFICATIONS.
 - IN LIEU OF THE 12" GRAVEL COURSE AND 9" OF CRUSHED GRAVEL, 18" OF CRUSHED GRAVEL OR RECLAIMED STABILIZED BASE MAY BE USED AS A BASE FOR THE PAVEMENT REPAIR.
 - MATERIAL SHALL BE REPLACED IN KIND WHENEVER POSSIBLE.
 - A MINIMUM 2" CUTBACK IS REQUIRED AT THE TOP OF THE TRENCH WALL OVER UNDISTURBED MATERIAL.



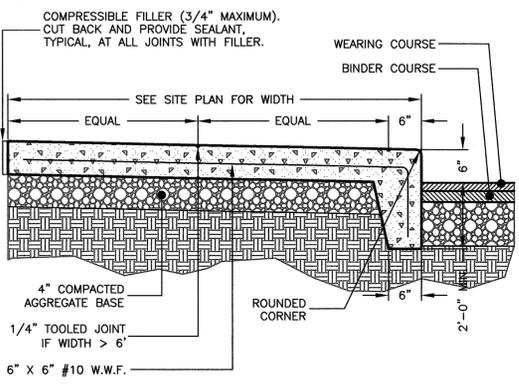
SHRUB PLANTING NOT TO SCALE

- NOTES:
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 - WHERE SHRUBS OCCUR IN PLANT BED GROUPINGS, PROVIDE A 12" DEEP MINIMUM CONTINUOUS LOAM BED.

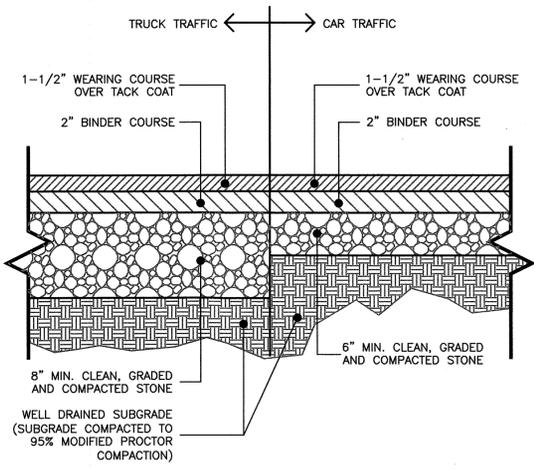


DECIDUOUS TREE PLANTING NOT TO SCALE

NOTE: TREE SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT DID TO NURSERY OR FIELD GRADE.

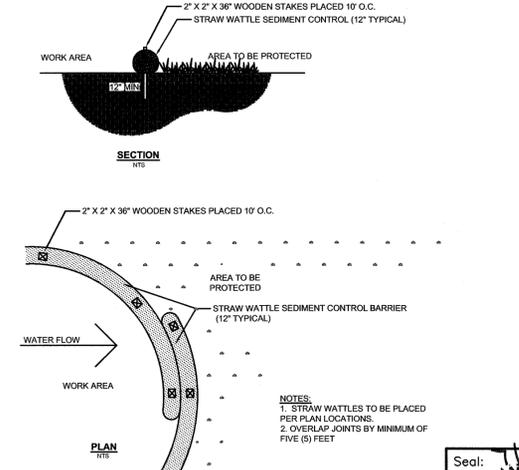


CONCRETE SIDEWALK (BUILDING PERIMETER) NOT TO SCALE



PAVEMENT SECTION NOT TO SCALE

NOTE: THIS PAVEMENT SECTION DETAIL REFLECTS MINIMUM REQUIREMENTS. ENGINEER TO DETERMINE DESIGN BASED ON GEOTECHNICAL DATA.



STRAW WATTLE SEDIMENT CONTROL NOT TO SCALE

Prepared For:
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405.590.9929

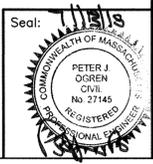
Prepared By:
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69 South St., Ste. 11880
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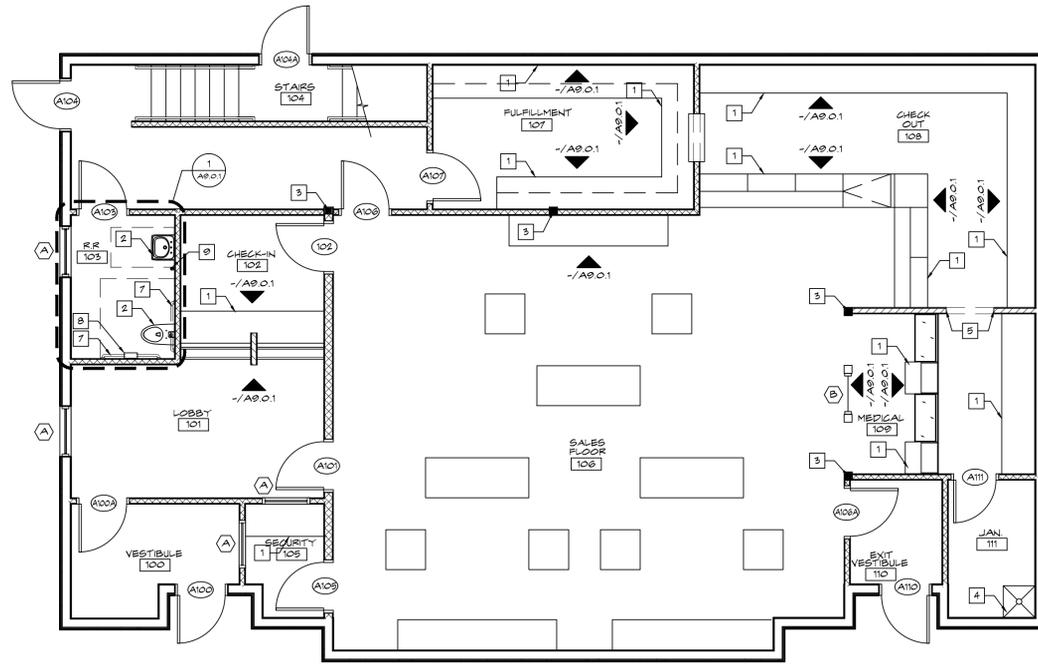
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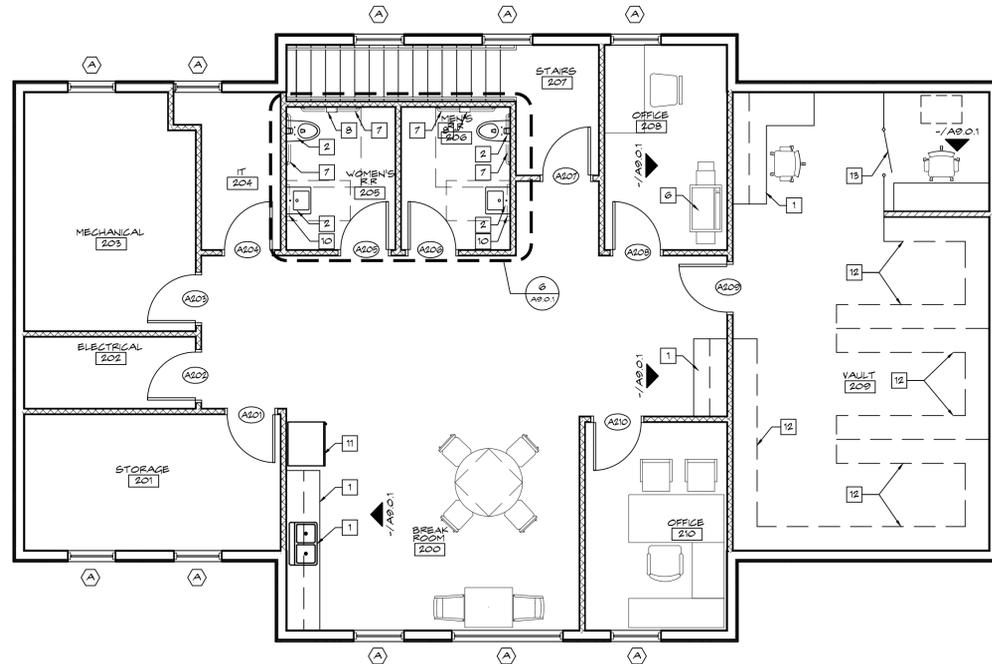
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0' 10' 20' 40'
Date: May 11, 2018

Drawing Title:
SITE PLAN
PROPOSED RMD
44 CAPT. BERTIE'S WAY
PROVINCETOWN, MASS.
Drawing No.:
C6
DETAILS
SHEET 6 OF 6





1 FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



1 SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"

PLAN GENERAL NOTES

- EXTERIOR PLAN DIMENSIONS FOR WALLS ARE MEASURED TO FACE OF STUD OR FACE OF BLOCK.
- INTERIOR PLAN DIMENSIONS ARE MEASURED TO FACE OF BLOCK OR FACE OF STUD.
- INTERIOR DOORS ARE LOCATED #1 OFF PERPENDICULAR WALL UNLESS OTHERWISE NOTED.
- ALL WALLS REPRESENTED IN GRAYSCALE DENOTES EXISTING TO REMAIN.
- FIELD VERIFY ALL EXISTING WALLS TO REMAIN AND EXISTING COLUMNS BEFORE CONSTRUCTION BEGINS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

SYMBOL LEGEND

- ROOM NAME AND NUMBER
- DOOR NUMBER - SEE DOOR TYPES AND SCHEDULE SHEET A-7.0.1
- WINDOW TYPE - SEE A-8.0.1
- INTERIOR ELEVATION - SEE A-9.0.1 THRU A-9.0.5
- SEMI RECESSED FIRE EXTINGUISHER CABINET

WALL LEGEND

- NEW WOOD WALL - SEE X/A-XXX
- NEW FRAME PARTITION - SEE X/A-XX
- SOUND PARTITION WALL TO EXTEND TO UNDERSIDE OF THE DECK ABOVE - SEE DETAIL X/AXX

KEY NOTES

- NEW BUILT-IN CABINETS - SEE INTERIOR ELEVATIONS AND FINISH SPECIFICATIONS GC TO PROVIDE FIRE RESISTANT WOOD BLOCKING AT WALL AS REQUIRED.
- NEW PLUMBING FIXTURE - SEE PLUMBING DRAWINGS.
- STRUCTURAL STEEL COLUMN TO BE BOXED OUT WITH [X/21]
- NEW MOPSINK PROVIDE BY GC W/FRP UP TO 6'-0" AFF. - SEE PLUMB.
- GYP. BD. OPENING - SEE REF. CEILING PLAN.
- COPIER BY TENANT - GC TO PROVIDE POWER / DATA & VERIFY DMS.
- NEW GRAB BARS BY GC - BOBRCK
- NEW TOILET PAPER DISPENSER BY GC - BOBRCK
- NEW SOAP DISPENSER BY GC - BOBRCK
- NEW MIRROR BY GC W/ WOOD TRIM, FRAME ALUM. - SEE INT. ELEV.
- NEW REFRIGERATOR PROVIDED BY OTHERS.
- HEAVY DUTY DOUBLE STANDARD & BRACKETS. SYM TO KV 85-185 18" DEEP SHELVES.
- LOCKABLE SWING DOOR AND METAL CAGE



New Construction for:
Verdant Medical, INC
44 Captain Bertie's Way
Provincetown, Massachusetts

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Revisions:

Project no: 18026
Date: 06.06.18
Drawn by: MAR
Project Architect: MR

Landscape Plan in PROVINCETOWN, MASS.

Hayes Engineering, Inc.
Civil Engineers & Land Surveyors
603 Salem Street
Wakefield, MA 01880

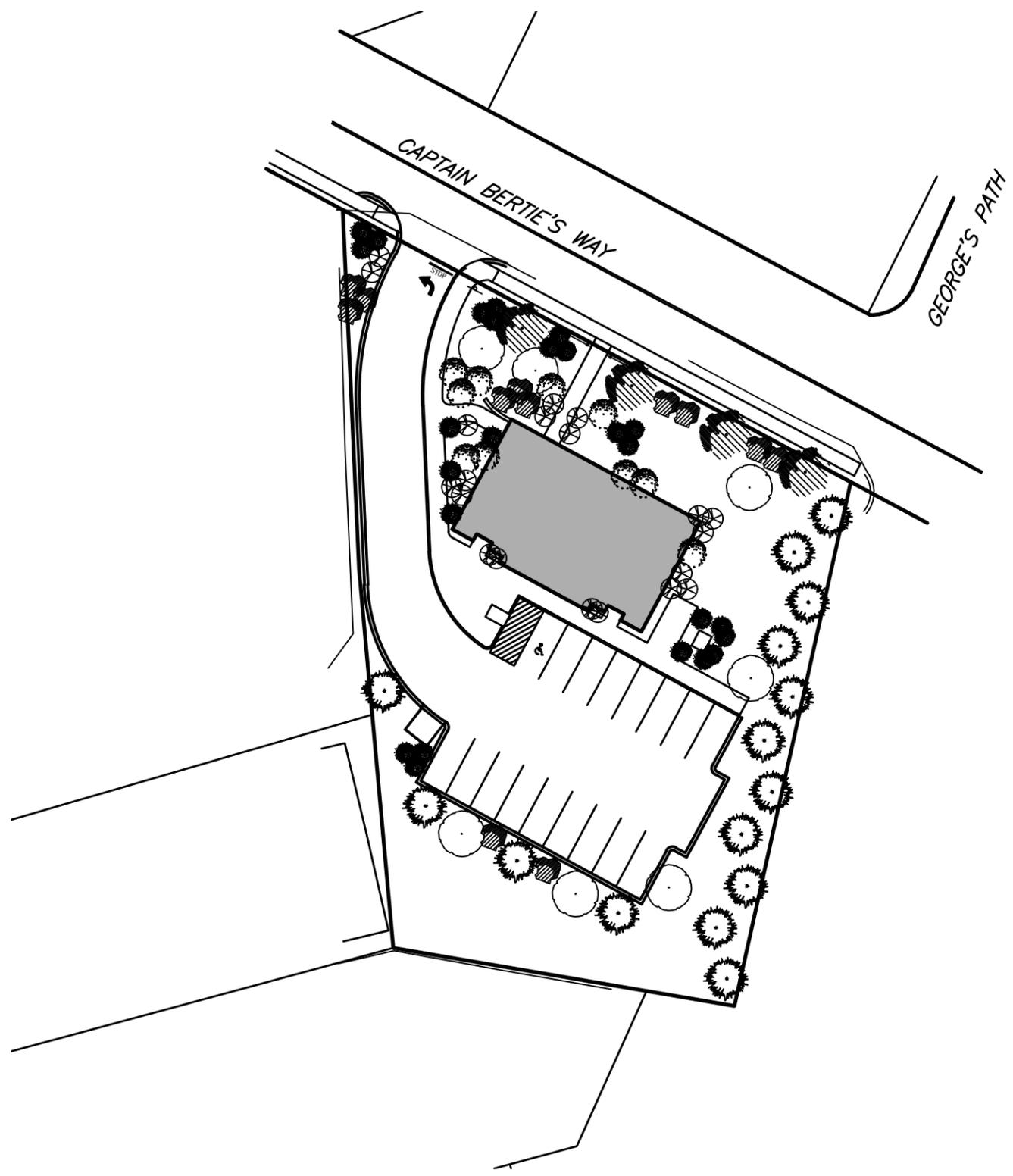
Telephone: 781.246.2800
Facsimile: 781.246.7596
www.hayeseng.com

Hayes

Scale: 1" = 40'



July 15, 2018



PLANT SCHEDULE					
T.	E.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
TREES					
	BP		BETULA POPULIFOLIA	GRAY BIRCH	2" Ø
	NS		NYSSA SILVATICA	BLACK TUPELO	2" Ø
	V		JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	4" Ø
SHRUBS					
	MP		MORICIA PENNSYLVANICA	BAHBERG	Ø Ø Ø
	IV		ILEX VERTICILLATA	COMMON WINTERBERRY	Ø Ø Ø
	CA		CLETHRA ALNIFOLIA	COASTAL SWEET PEPPERBUSH	Ø Ø Ø
GRASSES					
	VP		VACCINIUM PALLIDUM	LITTLE BLUESTEM GRASS	Ø Ø Ø

Landscape Plan in PROVINCETOWN, MASS.

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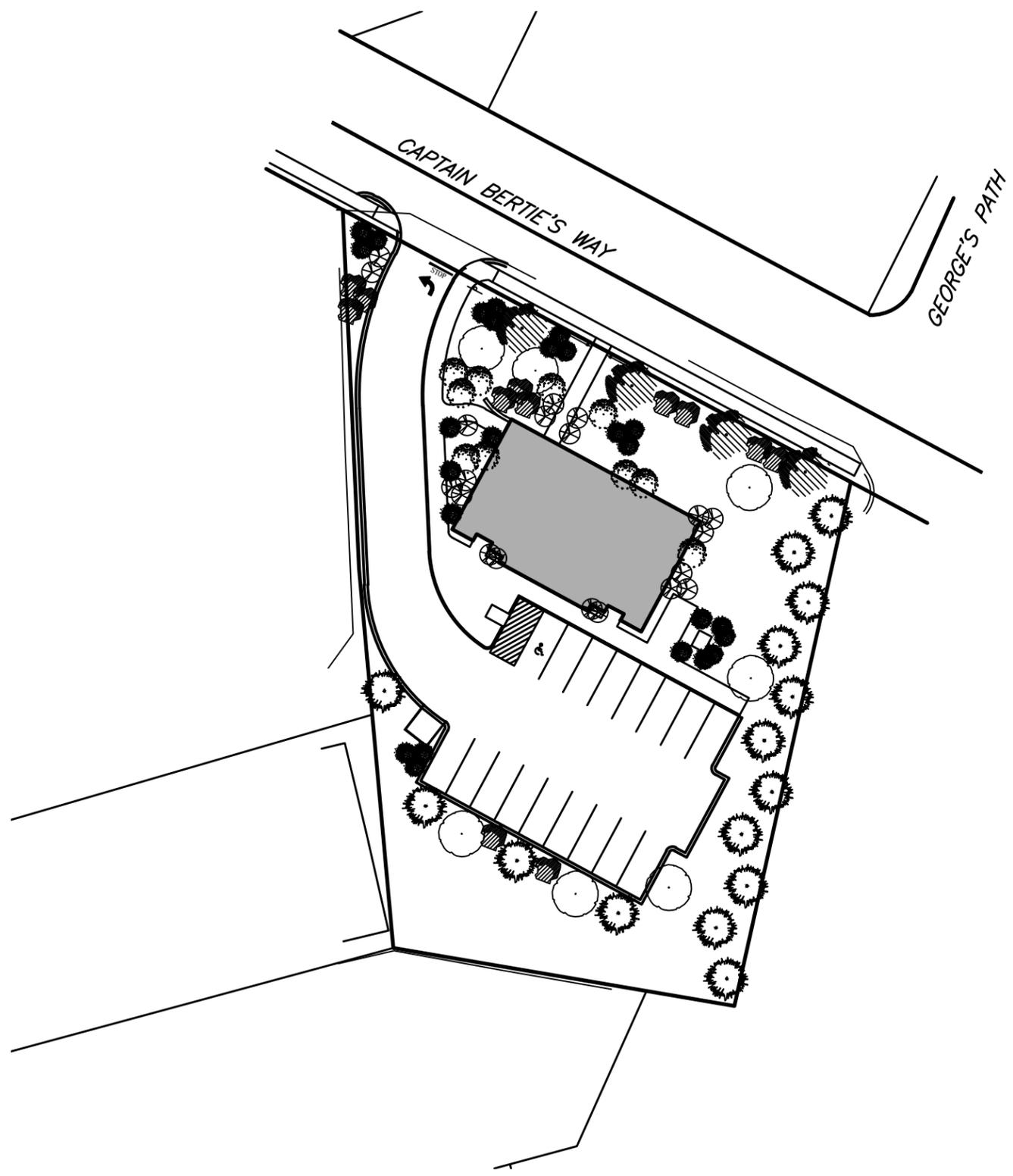
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GRASSES					
	VP		VACCINIUM PALLIDUM	LITTLE BLUESTEM GRASS	Ø Ø Ø

* EATON - STREETWORKS (FORMER COOPER LIGHTING) UTLD-AF24-100-D-U-T3-HSS
 INNOVATIONS CENTER(G1) test report no. P239676
 lamp(s): XXX
 candela file 'UTLD-AF24-100-D-U-T3-HSS.ies'
 24 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.850, watts per luminaire = 96
 mounting height= 12 ft
 number locations= 7, number luminaires= 7
 kw all locations= 0.7

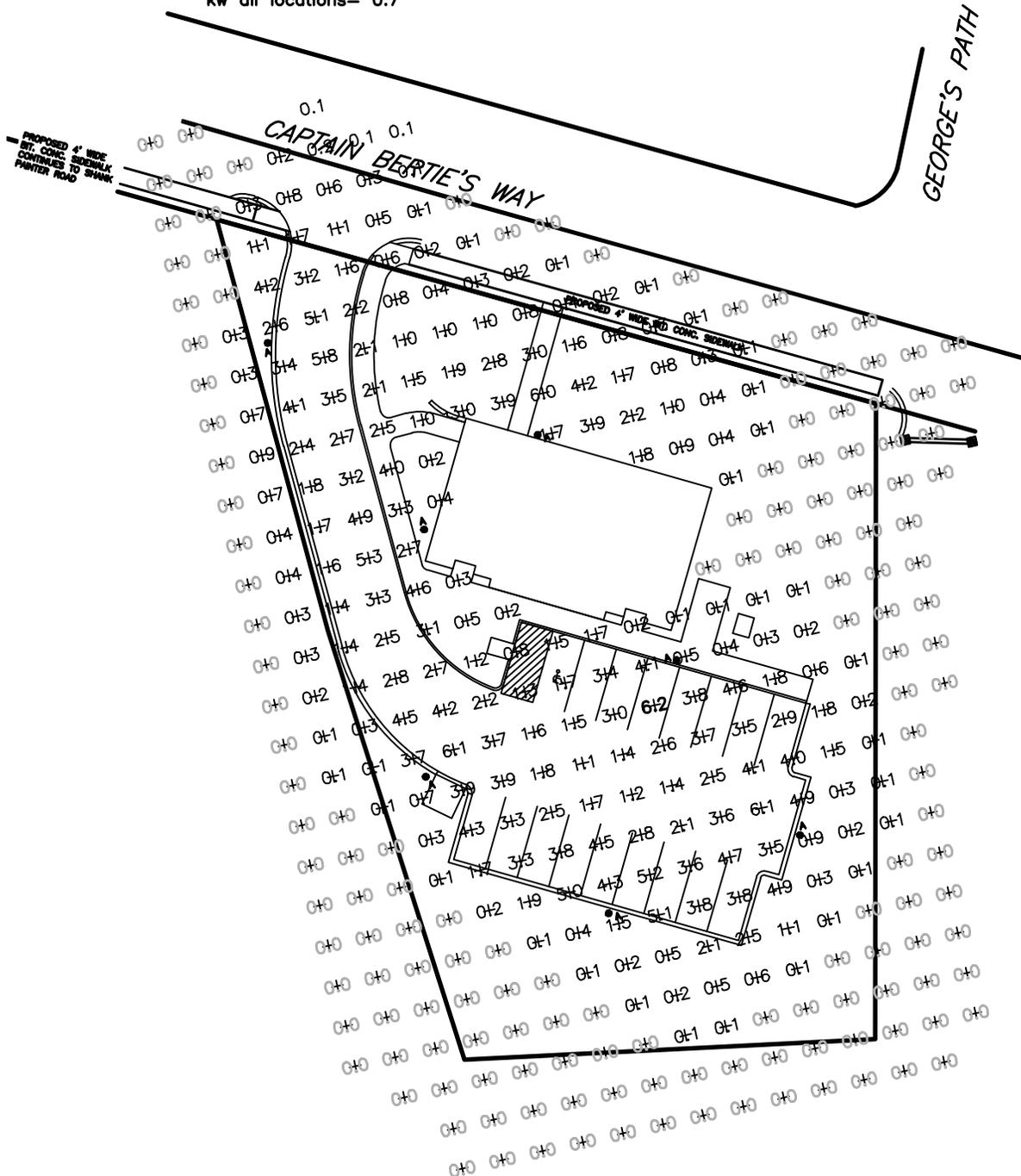
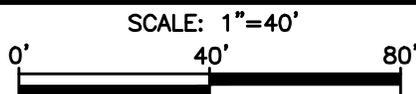


FIGURE 1
LIGHTING PLAN

PROPOSED RME
 44 CAPTAIN BERTIE'S WAY
 PROVINCETOWN, MASS.



SOURCE:



7/13/18